

PROJECT:
EXISTING BUILDING RENOVATION
HERALD COMMONS

220 HERALD PLACE
 SYRACUSE, NEW YORK

OWNER:

HERALD COMMONS, LLC

220 HERALD PLACE
 SYRACUSE, NEW YORK

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REVISIONS

DESIGN PHASE		
NO.	DATE	DESCRIPTION

CONSTRUCTION PHASE		
NO.	DATE	DESCRIPTION

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CODE REVIEW

Project description:

This project involves renovating an existing 4 story office building built in 1935. The building is the original Syracuse Herald Journal building at 220 Herald Place. The brick building has a concrete encased steel frame. The entire building gross area is approximately 54,500 sf. The developer intends to convert the top 3 floors of existing office space into residential units (apartments) and provide for businesses at the first level. The existing stairs and elevator cab will remain. The controls for the elevator will be upgraded to current standards.

APPLICABLE CODES

NEW YORK STATE BUILDING CODE 2010
EXISTING BUILDING CODE OF NEW YORK STATE 2010

EXISTING BUILDING CODE OF NEW YORK STATE 2010

TOTAL BUILDING AREA Floors 1 - 4		52,190 SF
1ST FLOOR	14,900 SF	
2ND FLOOR	14,900 SF	
3RD FLOOR	14,900 SF	
4TH FLOOR	7,490 SF	
BASEMENT		14,900 SF

302.1	BUILDING HEIGHT	4 STORIES
	OCCUPANCY CLASSIFICATION	R-2 - RESIDENTIAL B-1 - BUSINESS

TABLE 503 ALLOWABLE HEIGHT AND ALLOWABLE AREA		55', 4 STORIES 16,000 SF./FLOOR
506.1	ALLOWABLE AREA INCREASE	A _a = 60,000 SF./FLOOR
506.2	FRONTAGE INCREASE	If = 75%
506.3	SPRINKLER INCREASE	I _s = 200%
602.3/	CONSTRUCTION CLASSIFICATION	TYPE II B (UNPROTECTED) FULLY SPRINKLERED

TABLE 602 FIRE RESIST RATING		REQUIRED 0 HOUR	COMPLIES
708.3, EXCEPT 2	FIRE PARTITIONS - RATING	SEPARATING DWELLING UNITS .5 HOUR	1 HOUR PROVIDED
711.3, EXCEPT 1	HORIZONTAL ASSEMBLIES - RATING	SEPARATING DWELLING UNITS .5 HOUR	1+ HOURS PROVIDED

[F] 903.2.7 GROUP R	AUTOMATIC SPRINKLER REQUIRED	COMPLIES
(F) 907.2.8	MANUAL FIRE ALARM REQUIRED	COMPLIES

TABLE 1004.1.2 OCCUPANT LOAD		4th Flr 2nd - 3rd Flr 1st Floor Basement	R, 200 SF. PER OCCUPANT PER FLOOR R, 200 SF. PER OCCUPANT PER FLOOR B, 100 SF. PER OCCUPANT S, 300 SF. PER OCCUPANT	37 Occupants 74 Occupants 149 Occupants 49 Occupants
1009.1	STAIRWAY WIDTH	44"	COMPLIES	
1014.2.1	EXIT ACCESS	1/3 DIAGONAL DIMENSION OF AREA SERVED	COMPLIES	
TABLE 1016.1	EXIT ACCESS TRAVEL DISTANCE	250'	COMPLIES	
TABLE 1018.1	MIN. # OF EXITS	<500 OCCUPANTS	2 EXITS COMPLIES	
TABLE 1017.1	CORRIDOR FIRE-RESISTANCE RATING	WITH SPRINKLER	.5 HOUR 1 HOUR PROVIDED	
1017.2	CORRIDOR WIDTH	44"	COMPLIES	
TABLE 1019.1	MIN. # OF EXITS	1-500 Occupants	2 COMPLIES	

2010 Existing Building Code Of New York State

Chapter 13- Compliance Building Standards

SECTION 1301 GENERAL

1301.1 Scope. The provisions of this chapter shall apply to the alteration, repair, addition and change of occupancy of existing structures, including historic and mixed structures, as referenced in Section 101.5.3. The provisions of this chapter are intended to maintain or increase the current degree of public safety, health and general welfare in existing buildings while permitting repair, alteration, addition and change of occupancy without requiring full compliance with Chapters 4 through 12, except where compliance with other provisions of this code is specifically required in this chapter.

1301.2 Applicability. Existing buildings in which there is work involving additions, alterations, or changes of occupancy shall be made to conform to the requirements of this chapter or the provisions of Chapters 4 through 12. The provisions of Sections 1301.2.1 through 1301.2.6 shall apply to existing occupancies that will continue to be, or are proposed to be, in occupancy Groups A, B, E, F, M, R, and S.

1301.2.1 Change in occupancy. Where an existing building is changed to a new occupancy classification and this section is applicable, the provisions of this section for the new occupancy shall be used to determine compliance with this code.

1301.2.4 Alterations and repairs. An existing building or portion thereof that does not comply with the requirements of this code for new construction shall not be altered or repaired in such a manner that results in the building being less safe or sanitary than such building is currently. If, in the alteration or repair, the current level of safety or sanitation is to be reduced, the portion altered or repaired shall conform to the requirements of Chapters 2 through 12 and Chapters 14 through 33 of the Building Code of New York State.

1301.2.5 Accessibility requirements. All portions of the buildings proposed for change of occupancy shall conform to the accessibility provisions of Chapter 11 of the building Code of New York State.

Building Design Complies with the Above

1301.6.1.1 Height formula. The following formulas shall be used in computing the building height value.

$$\text{Height value, feet} = \frac{(AH) - (EBH)}{12.5} \times CF = ((60) - (63) / 12.5) \times 3.5 = 4.8 \text{ Points}$$

$$\text{Height value, Stories} = (AS - EBS) \times CF = (4 - 0) \times 3.5 = 3.5 \text{ Points} \quad (\text{Equation 13-1})$$

Use lesser height value, stories for Table 1301.7 V = 3.5 Points

AH = Allowable height in feet (mm) from Table 503 of the Building Code of New York State = 60' with Sprinkler Increase

EBH = Existing building height in feet (mm) = 63'

AS = Allowable height in stories from Table 503 of the Building Code of New York State = 4 stories

EBS = Existing building height in stories = 5 Stories w/ elevator Penthouse

CF = 1 if (AH) - (EBH) is positive.

CF = Construction type factor shown in Table 1301.6.6(2) if (AH) - (EBH) is negative = 3.5

1301.6.2 Building area. The value for building area shall be determined by the formula in Section 1301.6.2.2. Section 503 of the Building Code of New York State and the formula in Section 1301.6.2.1 shall be used to determine the allowable area of the building. The allowable area shall be the lesser value calculated by Equations 13-2 and 13-3. This shall include any allowable increases due to open perimeter and automatic sprinklers as provided for in Section 506 of the Building Code of New York State. Subtract the actual building area from the allowable area and divide by 1,200 square feet (112 m²). Enter the area value and its sign (positive or negative) in Table 1301.7 under Safety Parameter 1301.6.2, Building Area, for fire safety, means of egress, and general safety. In determining the area value, the maximum permitted positive value for area is 50 percent of the fire safety score as listed in Table 1301.8, Mandatory Safety Scores.

Area Value = (Allowable Building Area - Actual Area) / 1200 = (36,000 - 14,900) / 1200 = 17.6 Points

1301.6.2.1 Allowable area formula. The following formula shall be used in computing allowable area.

$$(\text{Equation 13-2}) \text{ formula } A_a = (100 + If + Is) \times A_t / 100 \quad If = 75\% \quad Is = 200\% \quad A_t = 16,000 \text{ s.f.}$$

$$A_a = ((100 + 75 + 200) \times 16,000) / 100 = 60,000 \text{ s.f.}$$

$$A_{a,max} = 3 \times A_s, \text{ as calculated in accordance with Section 506.4 of the Building Code of New York State (Equation 13-3)}$$

$$A_a = (A_t + (A_t \times If)) + (A_{d,s} \times Is) = (16000 + (16000 \times 75\%)) + (16000 \times 200\%) = 60,000 \text{ s.f.}$$

$$A_{a,max} = 3 \times 60,000 \text{ s.f.} = 180,000$$

$$A_{a,max} = \frac{A_{a,max}}{\text{Number of stories}}$$

$$A_{a,max} = 180,000 \text{ s.f.} / 5 \text{ stories} = 36,000 \text{ s.f. Use this lesser Value for Allowable Area}$$

A_a = Allowable area per floor.

I_f = Area increase due to sprinkler protection, percent as calculated in accordance with Section 506.3 of the Building Code of New York State = 200%

I_s = Area increase due to frontage, percent as calculated in accordance with Section 506.2 of the Building Code of New York State = 75%

A_t = Tabular area per floor in accordance with Table 503 of the Building Code of New York State, square feet (m²) = 16,000 s.f.

A_{s,max} = Total area of the entire building = 52,560 s.f.

A_{a,max} = Allowable area per floor based on the limitations of Section 506.4 of the Building Code of New York State = 60,000 s.f.

1301.6.2.2 Area formula. The following formula shall be used in computing the area value. Determine the area value for each occupancy fire area on a floor by floor basis. For each occupancy, choose the minimum area value of the set of values obtained for the particular occupancy.

$$\text{Area value } i = \frac{\text{Allowable area } i}{1200 \text{ square feet}} \left[1 - \left(\frac{\text{Actual area } i}{\text{Allowable area } i} + \dots + \frac{\text{Actual area } n}{\text{Allowable area } n} \right) \right]$$

(Equation 12.4)

Floors 1, 2, 3 Area value = 36,000 s.f. / 1200 s.f. (1 - (14,900 s.f. / 36,000 s.f.)) = 17.58

Floor 4 Area value = 36,000 s.f. / 1200 s.f. (1 - (7,900 s.f. / 36,000 s.f.)) = 23.42

Use lesser Area Value = 17.58

i = Value for an individual separated occupancy on a floor.

n = Number of separated occupancies on a floor.

1301.6.3 Compartmentation. Evaluate the compartments created by fire barrier walls which comply with Sections 1301.6.3.1 and 1301.6.3.2 and which are exclusive of the wall elements considered under Sections 1301.6.4 and 1301.6.5. Conforming compartments shall be figured as the net area and do not include shafts, chases, stairways, walls or columns. Using Table 1301.6.3, determine the appropriate compartmentation value (CV) and enter that value into Table 1301.7 under Safety Parameter 1301.6.3, Compartmentation, for fire safety, means of egress and general safety.

TABLE 1301.6.3 COMPARTMENTATION VALUES

TABLE 1301.6.3 COMPARTMENTATION VALUES Value R-2 = 0 Points

OCCUPANCY	CATEGORIES*				
	a Compartment size equal to or greater than 15,000 square feet	b Compartment size of 10,000 square feet	c Compartment size of 7,500 square feet	d Compartment size of 5,000 square feet	e Compartment size of 2,500 square feet or less
A-1, A-3	0	6	10	14	18
A-2	0	4	10	14	18
A-4, B, E, S-2	0	5	10	15	20
F, M, R, S-1	0	4	10	16	22

For 1 square foot = 0.0929 m²
a. For areas between categories, the compartmentation value shall be obtained by linear interpolation.

1301.6.4 Tenant and dwelling unit separations. Evaluate the fire-resistance rating of floors and walls separating tenants, including dwelling units, and not evaluated under Sections 1301.6.3 and 1301.6.5. Under the categories and occupancies in Table 1301.6.4, determine the appropriate value and enter that value in Table 1301.7 under Safety Parameter 1301.6.4, Tenant and Dwelling Unit Separation, for fire safety, means of egress, and general safety.

TABLE 1301.6.4 SEPARATION VALUES Value R-2 = 2 Points

4. Category d - Fire barriers with 1-hour but less than 2-hour fire-resistance ratings constructed in accordance with Section 706 of the Building Code of New York State and floor assemblies with 2-hour or greater fire-resistance ratings constructed in accordance with Section 711 of the Building Code of New York State.

OCCUPANCY	CATEGORIES				
	a	b	c	d	e
A-1	0	0	0	0	1
A-2	-5	-3	0	2	3
R	-4	-2	0	2	4
A-3, A-4, B, E, F, M, S	-4	-3	0	2	4
F, S	-1	0	0	0	0
S-2	-5	-2	0	2	4

1301.6.5 Corridor walls. Evaluate the fire-resistance rating and degree of completeness of walls which create corridors serving the floor and that are constructed in accordance with Section 1017 of the Building Code of New York State. This evaluation shall not include the wall elements considered under Sections 1301.6.3 and 1301.6.4. Under the categories and groups in Table 1301.6.5, determine the appropriate value and enter that value into Table 1301.7 under Safety Parameter 1301.6.5, Corridor Walls, for fire safety, means of egress, and general safety.

TABLE 1301.6.5 CORRIDOR WALL VALUES Value = 0 Points

3. Category c - 1-hour to less than 2-hour fire-resistance ratings, with doors conforming to Section 710 of the Building Code of New York State or without corridors as permitted by Section 1014 of the Building Code.

OCCUPANCY	CATEGORIES			
	a	b	c	d
A-1	-10	-4	0	2
A-2	-30	-12	0	2
A-3, F, M, R, S	-3	0	0	2
F	-1	0	0	0
A-4, B, E, S-2	-5	-2	0	5

1301.6.6 Vertical openings. Evaluate the fire-resistance rating of vertical exit enclosures, hoistways, escalator openings, and other shaft enclosures within the building, and openings between two or more floors. Table 1301.6.6(1) contains the appropriate protection values. Multiply that value by the construction type factor found in Table 1301.6.6(2). Enter the vertical opening value and its sign (positive or negative) in Table 1301.7 under Safety Parameter 1301.6.6, Vertical Openings, for fire safety, means of egress, and general safety. If the structure is a one-story building, enter a value of 2. Unenclosed vertical openings that conform to the requirements of Section 707 of the Building Code of New York State shall not be considered in the evaluation of vertical openings.

TABLE 1301.6.6(1) VERTICAL OPENING PROTECTION VALUE Vertical Opening Value = 3.5 x 1 = 3.5

PROTECTION	VALUE
None (unprotected opening)	-2 times number of floors connected
Less than 1 hour	-1 times number of floors connected
1 to less than 2 hours	1
2 hours or more	2

TABLE 1301.6.6(2) CONSTRUCTION-TYPE FACTOR

FLOOR TYPE	TYPE OF CONSTRUCTION							
	IA	IB	IIA	IIIB	IV	VA	VB	V
1	1.5	2.2	3.5	2.5	3.5	2.3	3.3	7

1301.6.7 HVAC systems. Evaluate the ability of the HVAC system to resist the movement of smoke and fire beyond the point of origin. Under the categories in Section 1301.6.7.1, determine the appropriate value and enter that value into Table 1301.7 under Safety Parameter 1301.6.7, HVAC Systems, for fire safety, means of egress, and general safety.

4. Category d - Compliance of the HVAC system with Section 1017.4 of the Building Code of New York State and Section 602 of the Mechanical Code of New York State. 0 points.

1301.6.8 Automatic fire detection. Evaluate the smoke detection capability based on the location and operation of automatic fire detectors in accordance with Section 907 of the Building Code of New York State and the Mechanical Code of New York State. Under the categories and occupancies in Table 1301.6.8, determine the appropriate value and enter that value into Table 1301.7 under Safety Parameter 1301.6.8, Automatic Fire Detection, for fire safety, means of egress, and general safety.

TABLE 1301.6.8 AUTOMATIC FIRE DETECTION VALUES Value = 6 Points

5. Category e - Smoke detectors installed throughout the floor area.

OCCUPANCY	CATEGORIES				
	a	b	c	d	e
A-1, A-3, F, M, R	-10	-5	0	2	5
S-1	-10	-5	0	5	0
A-2	-25	-5	0	5	0
A-4, B, E, S-2	-4	-2	0	4	8

1301.6.9 Fire alarm systems. Evaluate the capability of the fire alarm system in accordance with Section 907 of the Building Code of New York State. Under the categories and occupancies in Table 1301.6.9, determine the appropriate value and enter that value into Table 1301.7 under Safety Parameter 1301.6.9, Fire Alarm System, for fire safety, means of egress, and general safety.

TABLE 1301.6.9 FIRE ALARM SYSTEM VALUES Value = 0 Points

3. Category c - Fire alarm system in accordance with Section 907 of the Building Code of New York State.

OCCUPANCY	CATEGORIES				
	a	b	c	d	e
A-1, A-2, A-3, A-4, B	-10	-5	0	5	5
E, R	-10	-5	0	5	0
F, M, S	0	5	10	15	

1301.6.10 Smoke control. Evaluate the ability of a natural or mechanical venting, exhaust, or pressurization system to control the movement of smoke from a fire. Under the categories and occupancies in Table 1301.6.10, determine the appropriate value and enter that value into Table 1301.7 under Safety Parameter 1301.6.10, Smoke Control, for means of egress and general safety.

TABLE 1301.6.10 SMOKE CONTROL VALUES Value = 3 Points

3. Category c - One enclosed exit stairway, with ready access thereto, from each occupied floor of the building. The stairway has operable exterior windows, and the building has openings in accordance with Category b.

OCCUPANCY	CATEGORIES						
	a	b	c	d	e	f	g
A-1, A-2, A-3	0	1	2	3	6	6	
A-4, E	0	0	1	1	3	5	
B, M, R	0	2	3	3	3	4	
F, S	0	2	2	3	3	3	

a. This value shall be 0 if compliance with Category d or e in Section 1301.6.8.1 has not been obtained.

1301.6.11 Means-of-egress capacity and number. Evaluate the means-of-egress capacity and the number of exits available to the building occupants. In applying this section, the means of egress are required to conform to the following sections of the Building Code of New York State: 1003.7, 1004, 1005.1, 1014.2, 1014.3, 1015.2, 1019, 1024.1, 1024.2, 1024.6, 1024.3, 1024.4, 1025.2 and 1026. The number of exits credited is the number that is available to each occupant of the area being evaluated. Existing fire escapes shall be accepted as a component in the means of egress when conforming to Section 705.3.1.2. Under the categories and occupancies in Table 1301.6.11, determine the appropriate value and enter that value into Table 1301.7 under Safety Parameter 1301.6.11, Means-of-Egress Capacity, for means of egress and general safety.

TABLE 1301.6.11 MEANS OF EGRESS VALUES Value = 0 Points

3. Category c - Capacity of the means of egress is equal to or exceeds 125 percent of the required means-of-egress capacity, the means of egress complies with the minimum required width dimensions specified in the International Building Code, and the number of exits complies with the minimum number required by Section 1019 of the Building Code of New York State.

OCCUPANCY	CATEGORIES				
	a	b	c	d	e
A-1, A-2, A-3, A-4, B, E	-10	0	8	10	
F, M	-3	0	1	2	4
B, F, S	-1	0	0	0	0
R	-3	0	0	0	0

1301.6.12 Dead ends. In spaces required to be served by more than one means of egress, evaluate the length of the exit access travel path in which the building occupants are confined to a single path of travel. Under the categories and occupancies in Table 1301.6.12, determine the appropriate value and enter that value into Table 1301.7 under Safety Parameter 1301.6.12, Dead Ends, for means of egress and general safety.

TABLE 1301.6.12 DEAD-END VALUES Value = 2 Points

3. Category c - No dead ends; or ratio of length to width (L/W) is less than 2.5:1.

OCCUPANCY	CATEGORIES		
	a	b	c
A-1, A-3, A-4, B, F, M	-2	0	2
R, S	-2	0	2
A-2, E	-2	0	2

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1301.6.13 Maximum exit access travel distance to an exit. Evaluate the length of exit access travel to an approved exit. Determine the appropriate points in accordance with the following equation and enter that value into Table 1301.7 under Safety Parameter 1301.6.13, Maximum Exit Access Travel Distance for means of egress and general safety. The maximum allowable exit access travel distance shall be determined in accordance with Section 1016 of the *Building Code of New York State*.

$$\text{Points} = 20 \times \frac{\text{Maximum allowable travel distance} - \text{Maximum actual travel distance}}{\text{Maximum allowable travel distance}}$$

Value = $20 \times (250 \text{ ft.} - 140 \text{ ft.}) / 140 = 15.71 \text{ Points}$

1301.6.14 Elevator control. Evaluate the passenger elevator equipment and controls that are available to the fire department to reach all occupied floors. Elevator recall controls shall be provided in accordance with the *Fire Code of New York State*. Under the categories and occupancies in Table 1301.6.14, determine the appropriate value and enter that value into Table 1301.7 under Safety Parameter 1301.6.14, Elevator Control, for fire safety, means of egress, and general safety. The values shall be zero for a single story building.

TABLE 1301.6.14 ELEVATOR CONTROL VALUES Value = 0 Points

3. Category c—All elevators with Phase I emergency recall operation and Phase II emergency in-car operation as required by the *Fire Code of New York*.

ELEVATOR TRAVEL	CATEGORIES			
	a	b	c	d
Less than 25 feet of travel above or below the primary level of elevator access for emergency fire-fighting or rescue personnel	-2	0	0	+2
Travel of 25 feet or more above or below the primary level of elevator access for emergency fire-fighting or rescue personnel	-4	0	0	+4

1301.6.15 Means-of-egress emergency lighting. Evaluate the presence of and reliability of means-of-egress emergency lighting. Under the categories and occupancies in Table 1301.6.15, determine the appropriate value and enter that value into Table 1301.7 under Safety Parameter 1301.6.15, Means-of-Egress Emergency Lighting, for means of egress and general safety.

TABLE 1301.6.15 MEANS-OF-EGRESS EMERGENCY LIGHTING VALUES Value = 0 Points

2. Category b—Means-of-egress lighting and exit signs provided with emergency power in accordance with Section 2702 of the *Building Code of New York*.

NUMBER OF EXITS REQUIRED BY SECTIONS 1018.1 AND 1018.2 OF THE <i>BUILDING CODE OF NEW YORK STATE</i>	CATEGORIES		
	a	b	c
Two or more exits	0	0	0
Minimum of one exit	0	0	0

1301.6.16 Mixed occupancies. Where a building has two or more occupancies that are not in the same occupancy classification, the separation between the mixed occupancies shall be evaluated in accordance with this section. Where there is no separation between the mixed occupancies or the separation between mixed occupancies does not qualify for any of the categories indicated in Section 1301.6.16.1, the building shall be evaluated as indicated in Section 1301.6, and the value for mixed occupancies shall be zero. Under the categories and occupancies in Table 1301.6.16, determine the appropriate value and enter that value into Table 1301.7 under Safety Parameter 1301.6.16, Mixed Occupancies, for fire safety and general safety. For buildings without mixed occupancies, the value shall be zero.

TABLE 1301.6.16 MIXED OCCUPANCY VALUES Value = 0 Points

2. Category b—Separations between occupancies in accordance with Section 508.3.3 of the *Building Code of New York State*.

OCCUPANCY	CATEGORIES		
	a	b	c
A-1, A-2, R	-10	0	10
A-3, A-4, B, E, F, M, S	-5	0	5

a. For fire-resistance ratings between categories, the value shall be obtained by linear interpolation.

1301.6.17 Automatic sprinklers. Evaluate the ability to suppress a fire based on the installation of an automatic sprinkler system in accordance with Section 903.3.1.1 of the *Building Code of New York State*. "Required sprinklers" shall be based on the requirements of this code. Under the categories and occupancies in Table 1301.6.17, determine the appropriate value and enter that value into Table 1301.7 under Safety Parameter 1301.6.17, Automatic Sprinklers, for fire safety, means of egress divided by 2, and general safety. High-rise buildings defined in Section 403.1 of the *Building Code of New York State* that undergo a change of occupancy to Group R shall be equipped throughout with an automatic sprinkler system in accordance with Section 403.2 of the *Building Code of New York State* and Chapter 9 of the *Building Code of New York State*.

TABLE 1301.6.17 SPRINKLER SYSTEM VALUES Value = 4 Points

5. Category e—Sprinklers are required throughout; sprinklers are provided throughout in accordance with Chapter 9 of the *Building Code of New York State*.

OCCUPANCY	CATEGORIES					
	a	b	c	d	e	f
A-1, A-3, F, M, R, S-1	-6	-3	0	3	6	9
A-2	-4	-2	0	2	4	6
A-4, B, E, S-2	-12	-6	0	6	12	18

1301.6.18 Standpipes. Evaluate the ability to initiate attack on a fire by making supply of water available readily through the installation of standpipes in accordance with Section 905 of the *Building Code of New York State*. "Required Standpipes" shall be based on the requirements of the *Building Code of New York State*. Under the categories and occupancies in Table 1301.6.18, determine the appropriate value and enter that value into Table 1301.7 under Safety Parameter 1301.6.18, Standpipes, for fire safety, means of egress, and general safety.

TABLE 1301.6.18 STANDPIPE SYSTEM VALUES Value = 4 Points

3. Category c—Standpipes are required; standpipes are provided in accordance with Section 905 of the *Building Code of New York State*.

OCCUPANCY	CATEGORIES			
	a	b	c	d
A-1, A-3, F, M, R, S-1	-6	0	6	12
A-2	-4	0	4	8
A-4, B, E, S-2	-12	0	6	12

1301.6.19 Incidental use. Evaluate the protection of incidental use areas in accordance with Section 508.2 of the *Building Code of New York State*. Do not include those where this code requires suppression throughout the building, including covered mall buildings, high-rise buildings, public garages, and unlimited area buildings. Assign the lowest score from Table 1301.6.19 for the building or fire area being evaluated. If there are no specific occupancy areas in the building or fire area being evaluated, the value shall be zero.

TABLE 1301.6.19 INCIDENTAL USE AREA VALUES Value = 0 Points

Automatic Fire Suppression System Provided.

PROTECTION BY TABLE 508.2 OF THE <i>BUILDING CODE OF NEW YORK STATE</i>	REQUIRED PROTECTION PROVIDED							
	None	1 hour	AFSS	AFSS with SP	1 hour and AFSS	2 hours	2 hours and AFSS	2 hours and AFSS
2 hours and AFSS	-4	-3	-2	-2	-1	-2	0	0
2 hours, or 1 hour and AFSS	-3	-2	-1	-1	0	0	0	0
1 hour and AFSS	-3	-2	-1	-1	0	-1	0	0
1 hour	-1	0	-1	-1	0	0	0	0
1 hour, or AFSS with SP	-1	0	-1	-1	0	0	0	0
AFSS with SP	-1	-1	-1	-1	0	-1	0	0
1 hour or AFSS	-1	0	0	0	0	0	0	0

a. AFSS = Automatic fire suppression system; SP = Smoke partitions (See the *Building Code of New York State*, Section 508.2.2.1)

TABLE 1301.7 SUMMARY SHEET BUILDING CODE

Existing occupancy: Business - B Proposed occupancy: Residential Floors 2, 3 & 4
 Year building was constructed: 1930 Number of stories: (5) w/ Elevator Penthouse Height: 63'-0"
 Type of Construction: Type II Unprotected Area per floor: Floors 1, 2, 3 14,900 s.f. 4th Floor 7,490 s.f.
 Percentage of frontage increase 75% Percentage of height reduction: None
 Completely suppressed: Yes Corridor wall rating: 1 Hour
 Compartmentation: No Required door closers: Yes
 Fire-resistance rating of vertical opening enclosures: 2 Hour
 Type of HVAC System: Gas Forced Area w/ AC Serving number of floors: Individual Units
 Automatic Fire Detection: Yes Type of location: Downtown Urban
 Fire alarm system: Yes Type: Manual Alarm system w/ Smoke Detectors
 Smoke control: No Throughout & Complying with Section 90y of the BCNYS
 Adequate exit routes: Yes Type: NA
 Maximum exit access travel distance: 140'-0" Dead ends: No
 Means-of-egress emergency lighting: Yes Elevator controls: Yes
 Mixed occupancies: Yes; Floors 2 - 4 Residential, Floor 1 Business (To be Determined)

SAFETY PARAMETERS	FIRE SAFETY (FS)	MEANS OF EGRESS (ME)	GENERAL SAFETY (GS)
1301.6.1 Building height	3.5	3.5	3.5
1301.6.2 Building area	10.5	17	17
1301.6.3 Compartmentation	2	2	2
1301.6.4 Tenant and dwelling unit separations	2	2	2
1301.6.5 Corridor walls	0	0	0
1301.6.6 Vertical openings	3.5	3.5	3.5
1301.6.7 HVAC systems	0	0	0
1301.6.8 Automatic fire detection	0	0	0
1301.6.9 Fire alarm system	0	0	0
1301.6.10 Smoke control	****	3	3
1301.6.11 Means-of-egress capacity	****	0	0
1301.6.12 Dead ends	****	2	2
1301.6.13 Maximum exit access travel distance	****	15.7	15.7
1301.3.14 Elevator control	0	0	0
1301.6.15 Means-of-egress emergency lighting	****	0	0
1301.6.16 Mixed occupancies	0	****	0
1301.6.17 Automatic sprinklers	4	Divide by 2 (2)	4
1301.6.18 Standpipes	4	4	4
1301.6.19 Incidental use area protection	0	0	0
Building Score—Total Value	35.5	60.70	62.7

TABLE 1301.8 MANDATORY SAFETY SCORES*

OCCUPANCY	FIRE SAFETY (MFS)	MEANS OF EGRESS (MME)	GENERAL SAFETY (MGS)
A-1	20	31	31
A-2	21	32	32
A-3	22	33	33
A-4, E	29	40	40
B	30	40	40
F	24	34	34
M	23	40	40
R	21	38	38
S-1	19	29	29
S-2	29	39	39

a. MFS = Mandatory Fire Safety
 MME = Mandatory Means of Egress
 MGS = Mandatory General Safety

TABLE 1301.9 EVALUATION FORMULAS*

FORMULA	T1201.7	T1201.8	SCORE	PASS	FAIL
FS - MFS > 0	35.5 (FS)	- 21 (MFS)	= 14.5	x	—
ME - MME > 0	60.7 (ME)	- 38 (MME)	= 22.7	x	—
GS - MGS > 0	62.7 (GS)	- 38 (MGS)	= 24.7	x	—

a. FS = Fire Safety MFS = Mandatory Fire Safety
 ME = Means of Egress MME = Mandatory Means of Egress
 GS = General Safety MGS = Mandatory General Safety

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REVISIONS

NO.	DATE	BY

DATE 7/29/15

SCALE N.T.S.

DRAWN ARM

PROJ. --

TITLE

CODE SEARCH

T-2.2



10 PHOTO LOOKING NORTHWEST
N.T.S.



12 HISTORIC PHOTO
N.T.S.



14 PHOTO LOOKING SOUTHWEST
N.T.S.



20 PHOTO LOOKING SOUTHEAST
N.T.S.



22 PHOTO LOOKING EAST
N.T.S.



24 PHOTO LOOKING NORTHEAST
N.T.S.

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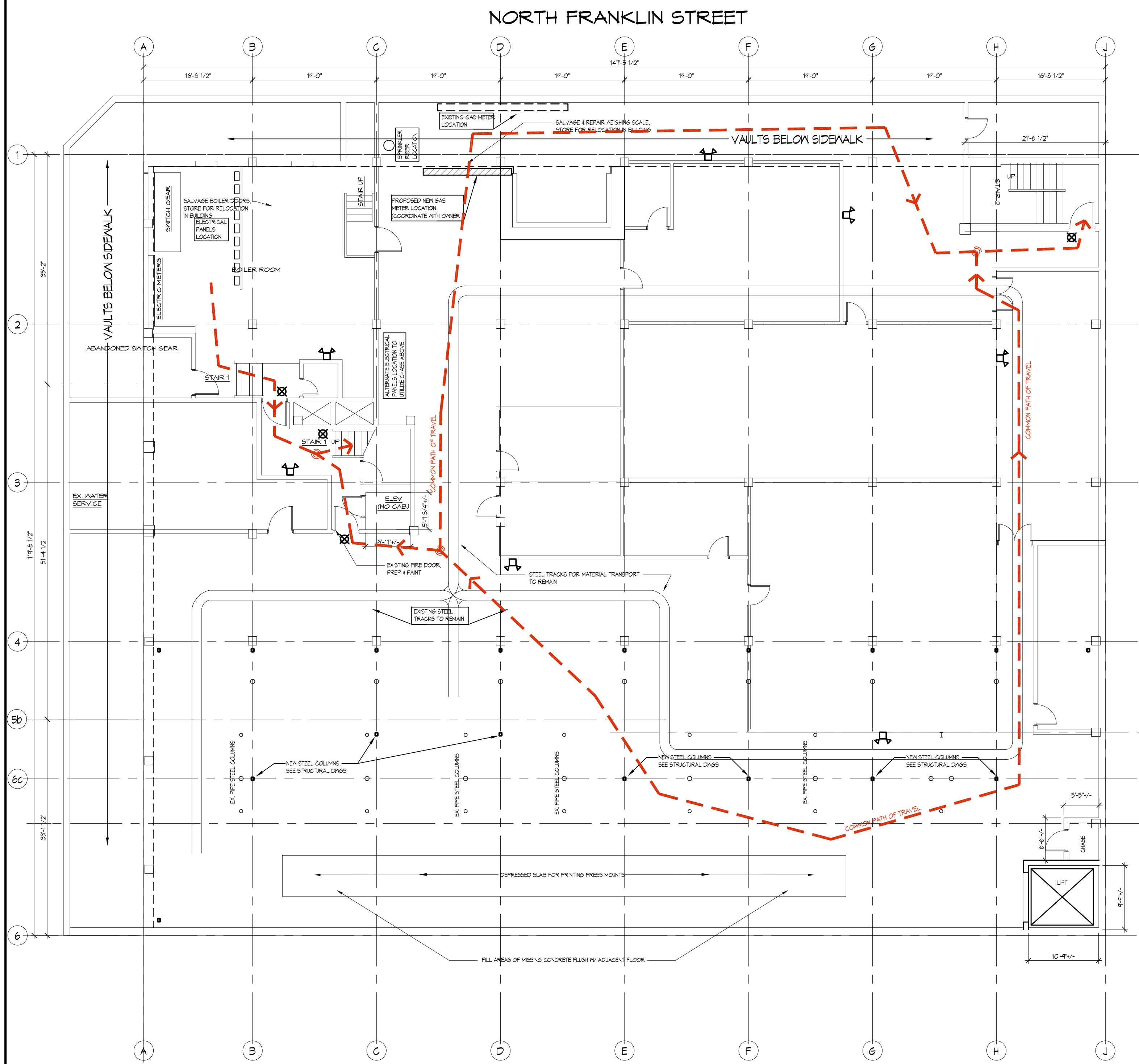
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DRAWN JFA

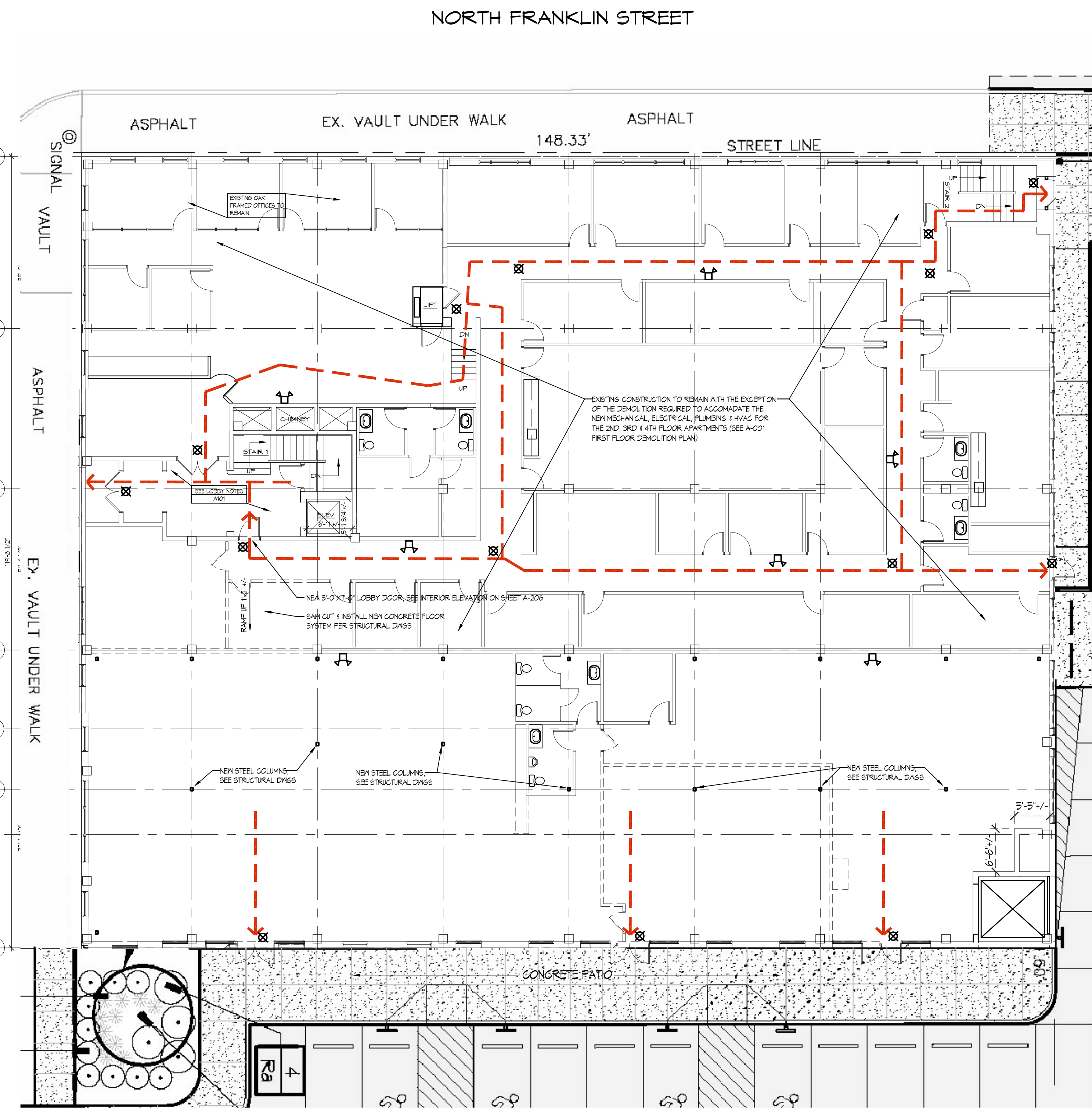
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TITLE EXISTING
CONDITIONS
PHOTOS

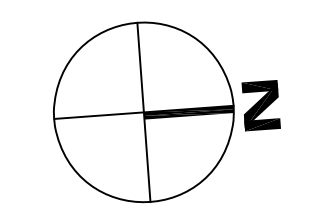
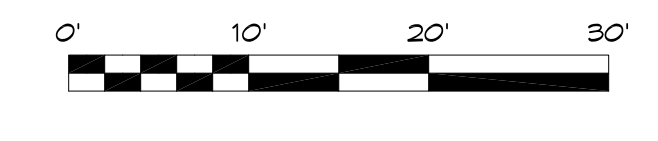
LIFE SAFETY LEGEND	
	EMERGENCY EXIT SIGN
	2A-10BC RATED FIRE EXTINGUISHERS, MOUNT @ 48" A.F.F. AS PER CODE DRAWINGS. PROVIDE FIRE EXTINGUISHER SIGN ON WALL DIRECTLY ABOVE EACH UNIT. INSPECT & TAG ALL FIRE EXTINGUISHERS.
	COMMON PATH OF TRAVEL TO EXITS
	TOTAL EXIT ACCESS TRAVEL DISTANCE
	EMERGENCY LIGHT WALL PACK



10 BASEMENT LIFE SAFETY PLAN
SCALE: 3/32"=1'-0"



12 FIRST FLOOR LIFE SAFETY PLAN
SCALE: 3/32"=1'-0"



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DATE 7/29/15

SCALE 3/32"=1'-0"

DRAWN

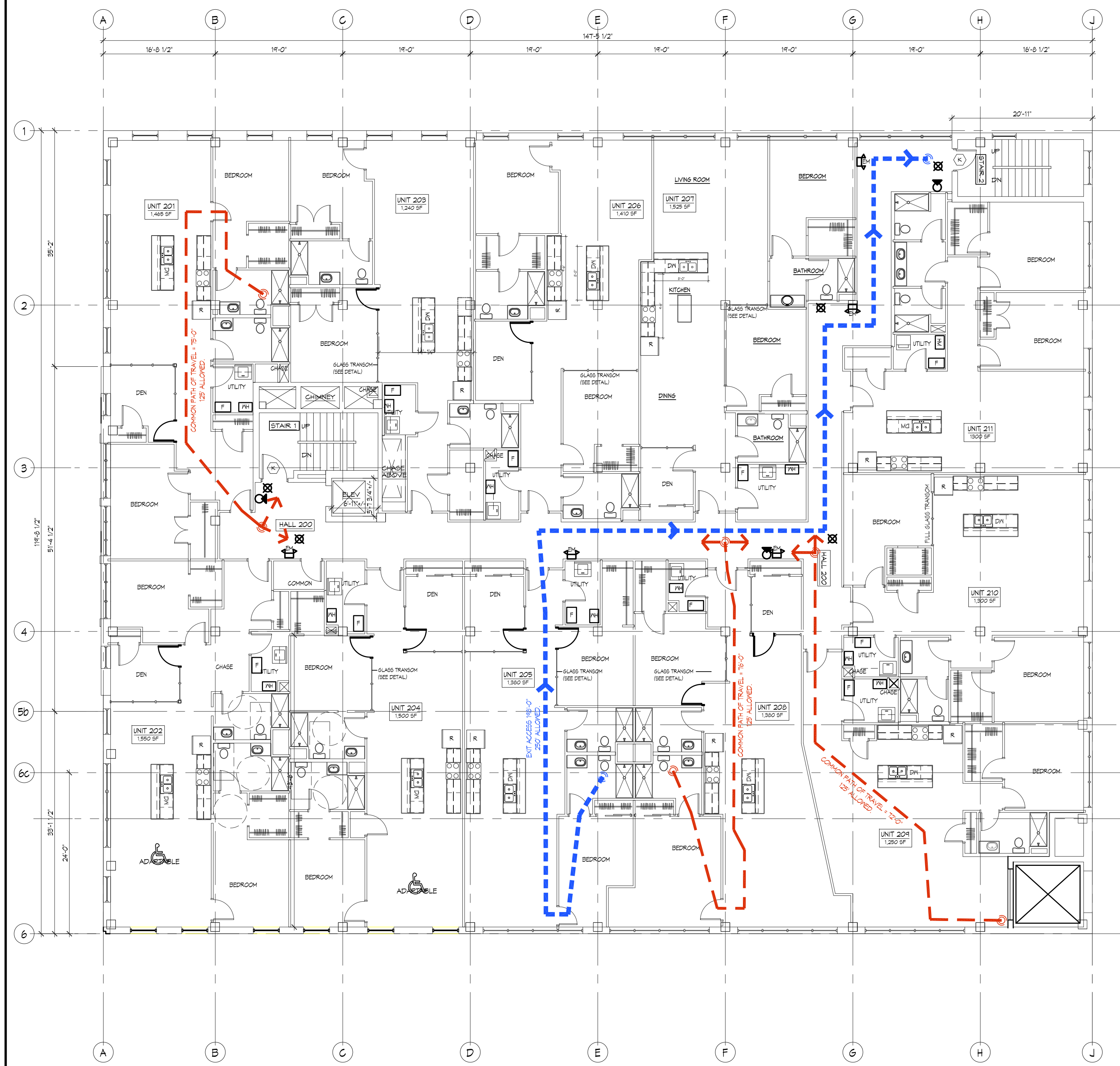
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TITLE BASEMENT & FIRST FLOOR LIFE SAFETY PLAN

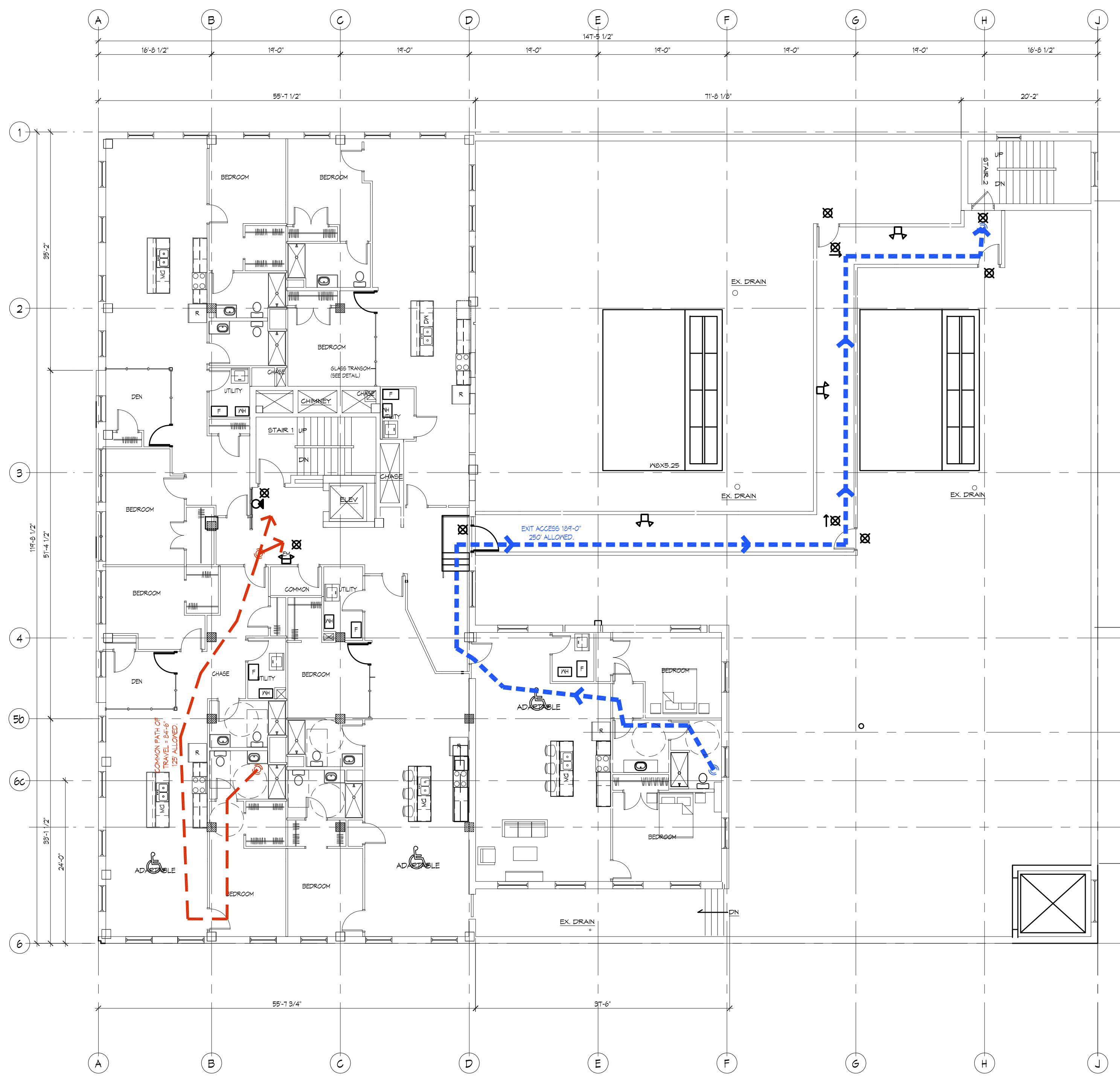
T4

LIFE SAFETY LEGEND	
	EMERGENCY EXIT SIGN
	2A-10BC RATED FIRE EXTINGUISHERS, MOUNT @ 48" A.F.F. AS PER CODE DRAWINGS. PROVIDE FIRE EXTINGUISHER SIGNS ON WALL DIRECTLY ABOVE EACH UNIT. INSPECT 4 TAGS ALL FIRE EXTINGUISHERS.
	COMMON PATH OF TRAVEL TO EXITS
	TOTAL EXIT ACCESS TRAVEL DISTANCE
	EMERGENCY LIGHT WALL PACK

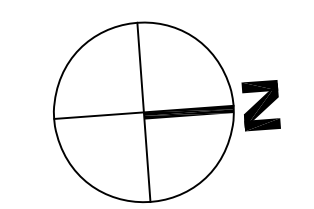
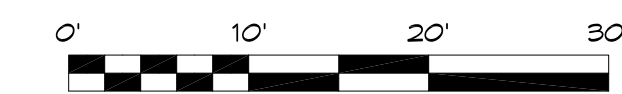
NORTH FRANKLIN STREET



10 SECOND & THIRD FLOOR LIFE SAFETY PLAN
SCALE: 3/32"=1'-0"



12 FOURTH FLOOR LIFE SAFETY PLAN
SCALE: 3/32"=1'-0"



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NO.	DATE	BY

DATE 7/29/15

SCALE 3/32"=1'-0"

DRAWN

PROJ. --

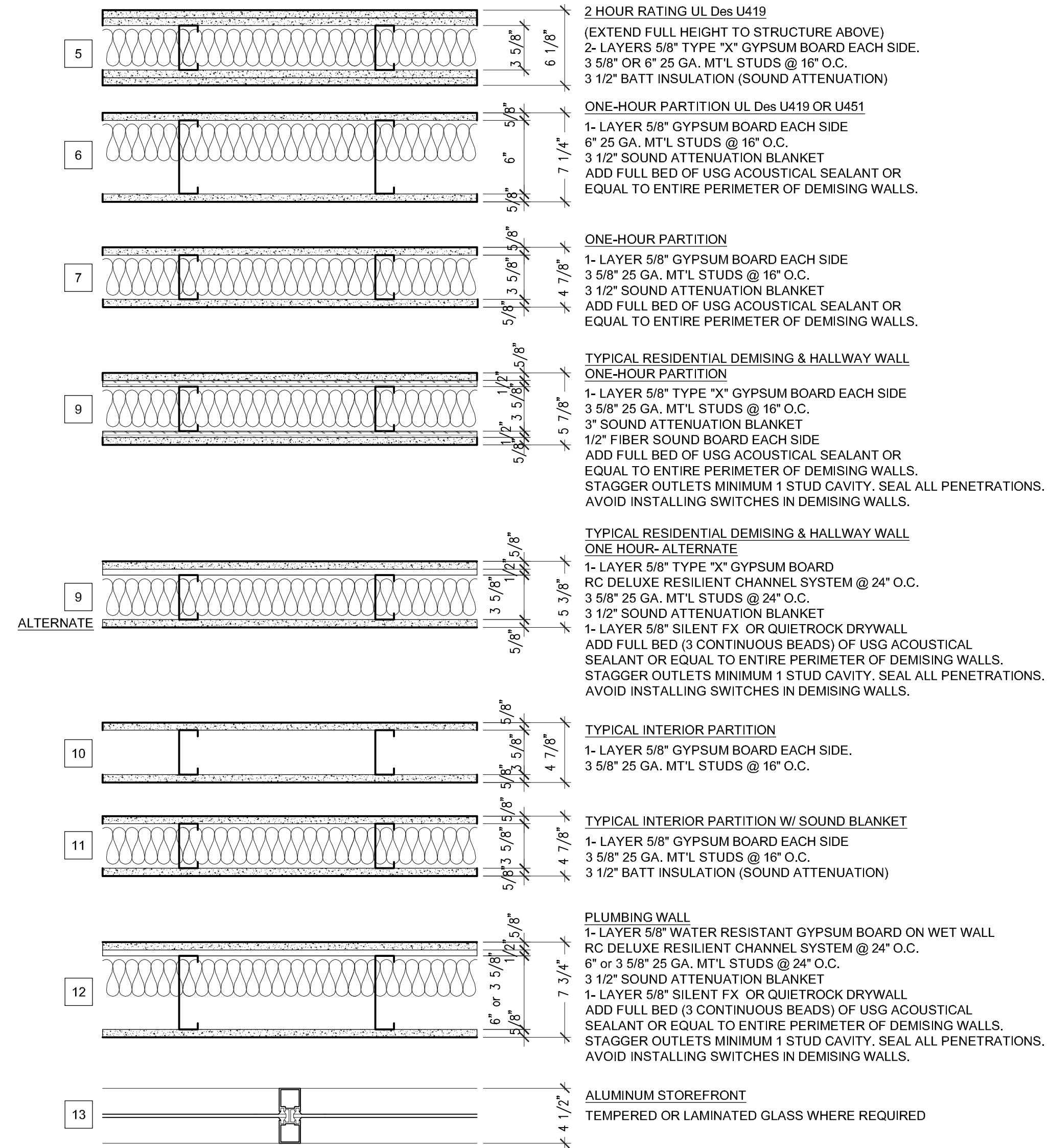
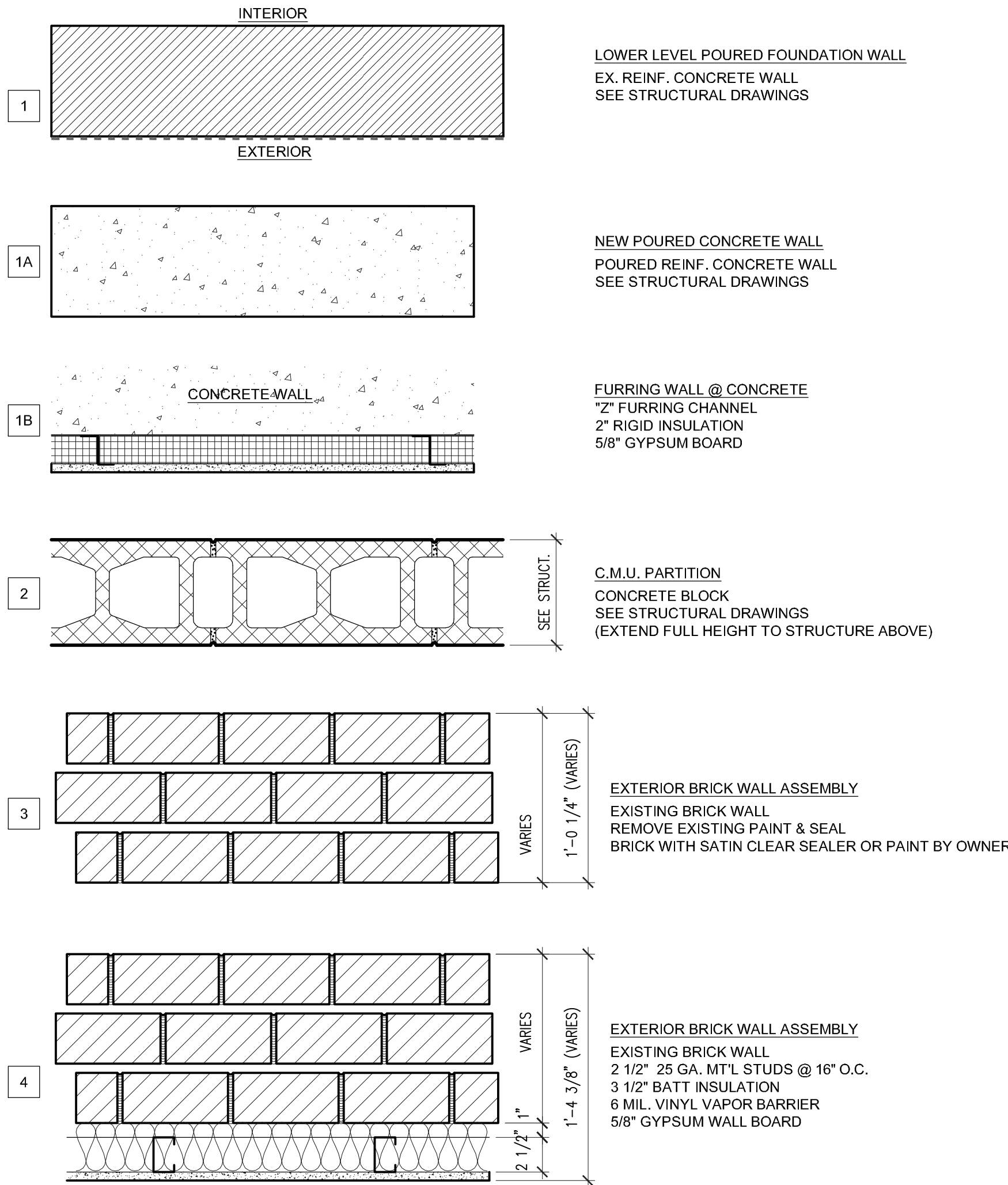
TITLE 2ND, 3RD & 4TH FLOORS
LIFE SAFETY PLAN

WALL TYPE LEGEND

NOT TO SCALE

NOTES:

1. USE MOISTURE RESISTANT G.W.B. FOR ALL RESIDENTIAL BATHROOM WALLS. ALL WET WALLS IN COMMERCIAL RESTROOMS & JANITOR CLOSETS. PROVIDE MOISTURE PROTECTED GWB OR DURAROCK FOR NEW WORK AT TOILETS, KITCHENETTE AND WATER FOUNTAIN AREAS.
2. PAINT ALL NEW DRYWALL WITH (1) COAT OF PRIMER AND (2) COATS OF PAINT PER TENANT SPECS. TOILET ROOMS FINISHES TO BE UPGRADED, PAINT WITH (1) COAT OF PRIMER AND (2) COATS OF SEMI-GLOSS PER TENANT SPECS.
3. PAINTER TO CAULK ALL JOINTS BETWEEN DISSIMILAR FINISHES PRIOR TO PAINTING.



10 WALL TYPE LEGEND
N.T.S.

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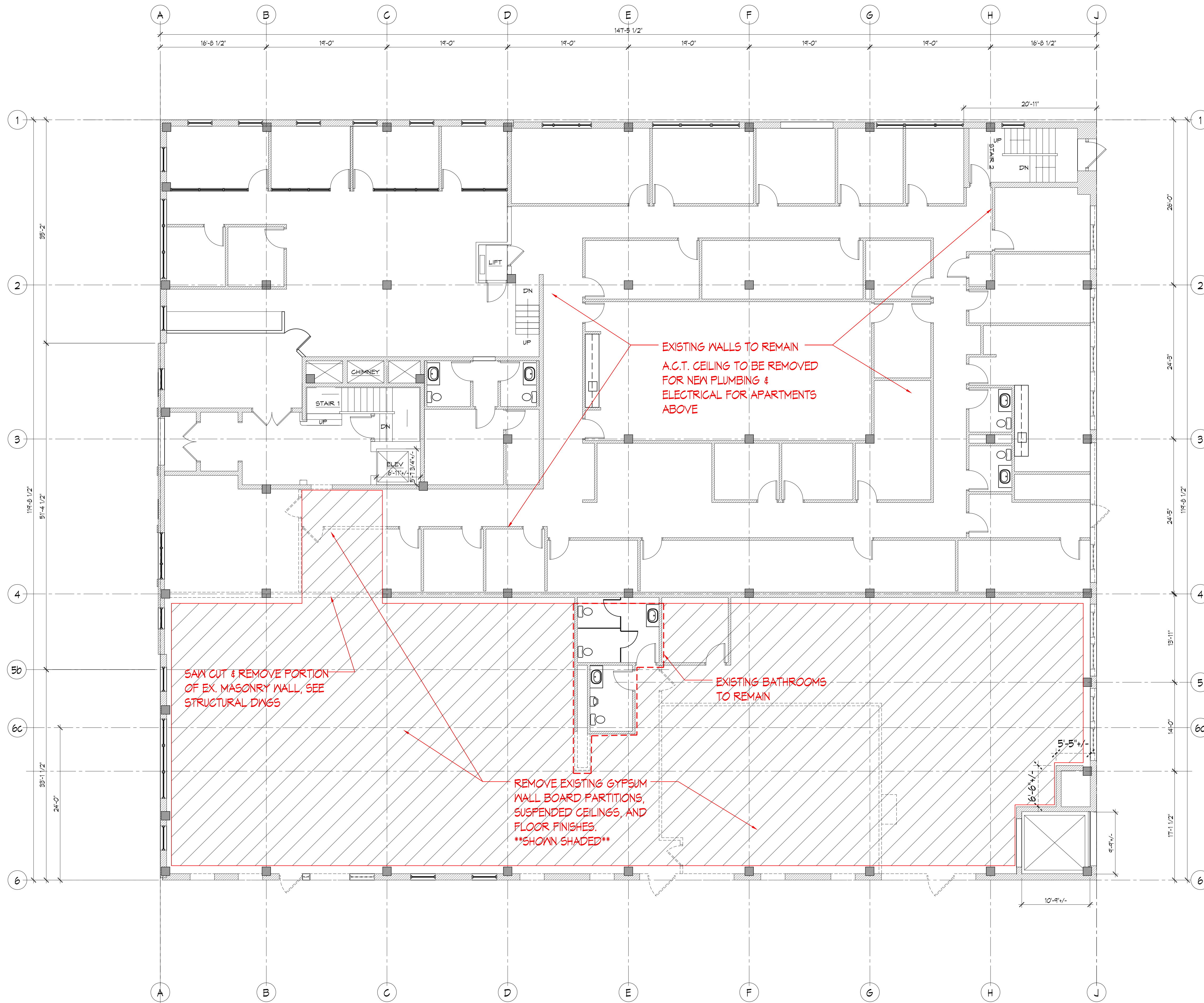
DATE 12/15/15
SCALE N.T.S.
DRAWN JFA
PROJ. --
TITLE

WALL TYPES & DETAILS

NORTH FRANKLIN STREET

HERALD PLACE

NYS ROUTE 690



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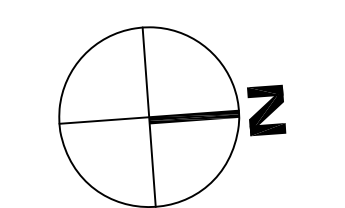
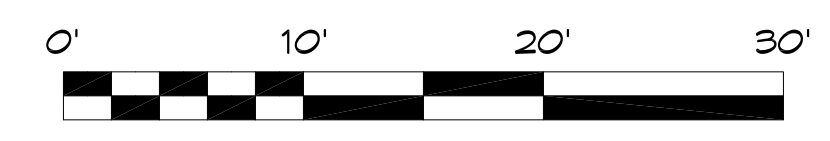
NO.	DATE	BY

DATE 7/29/15
 SCALE 1/8"=1'-0"
 DRAWN JFA
 PROJ. --
 TITLE

DEMOLITION FIRST FLOOR PLAN

A-001

10 DEMOLITION FIRST FLOOR PLAN
 SCALE: 1/8"=1'-0"



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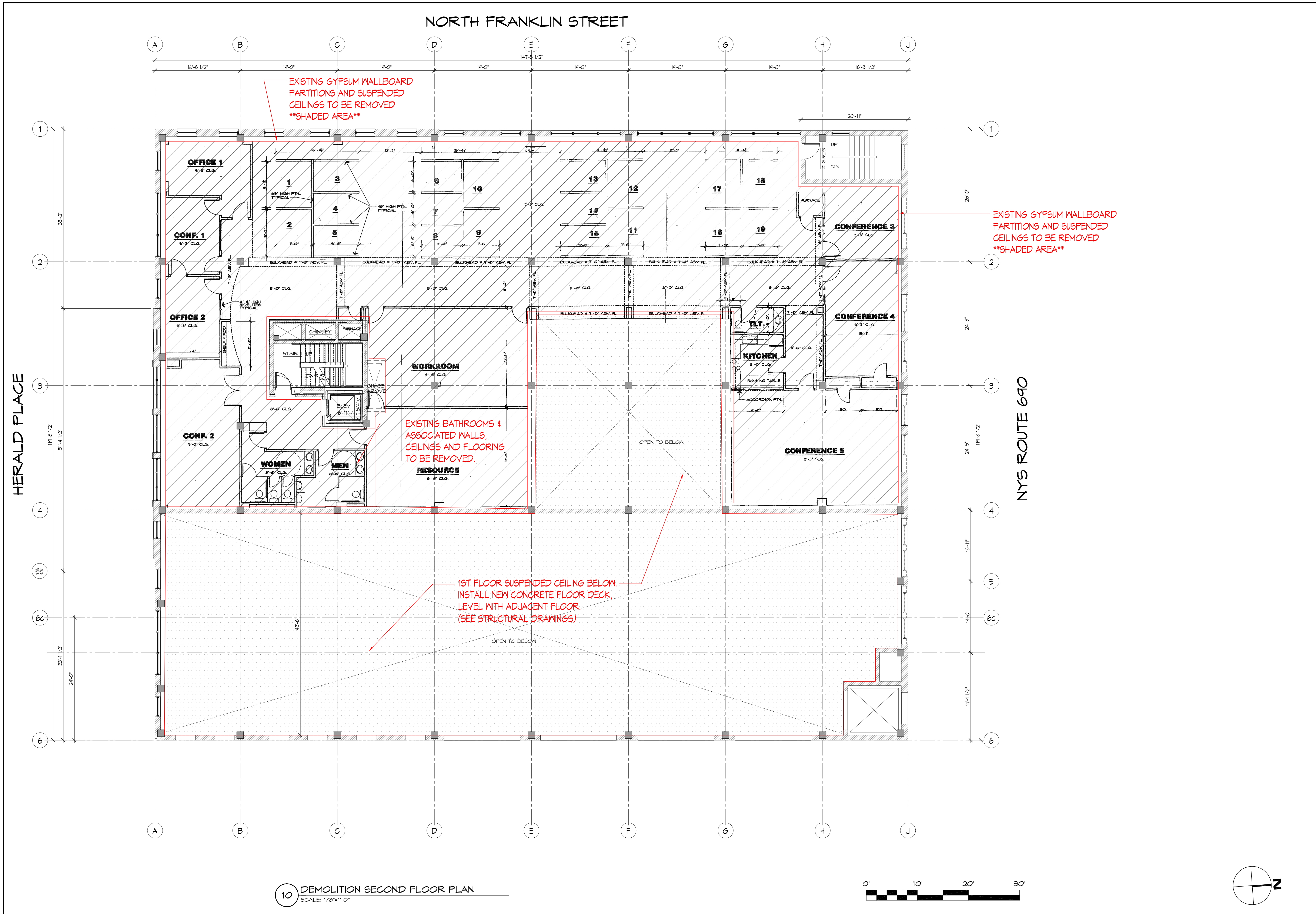
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DRAWN JFA

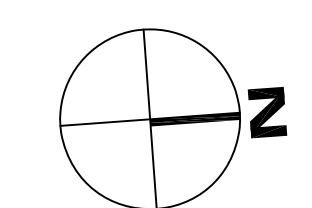
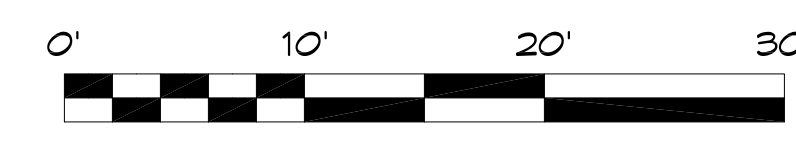
PROJ. --

TITLE DEMOLITION
SECOND
FLOOR PLAN

A-002



10 DEMOLITION SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



HERALD PLACE

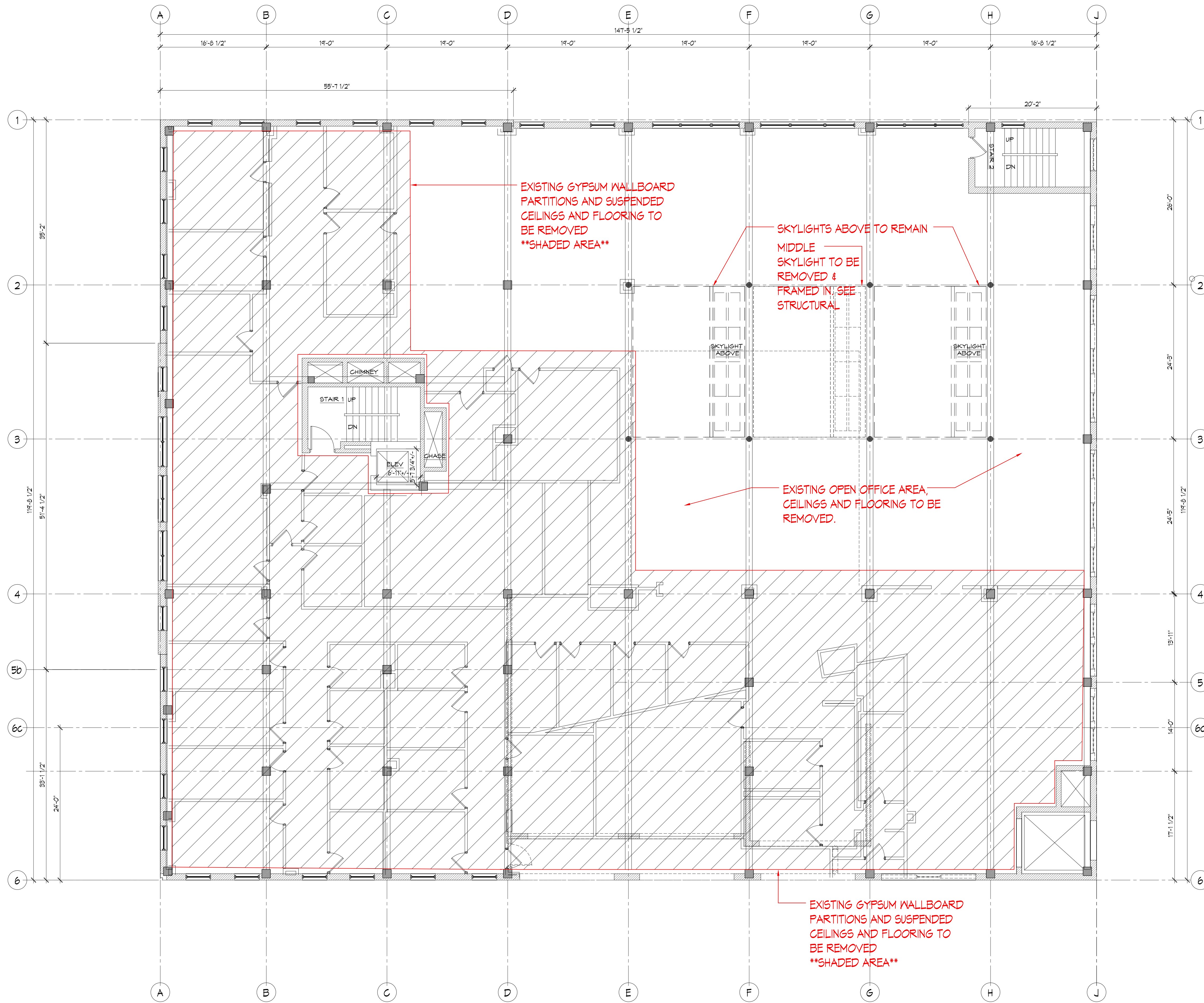
NYS ROUTE 690

NORTH FRANKLIN STREET

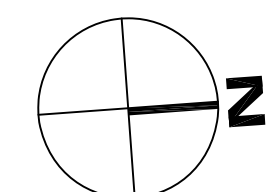
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HERALD PLACE

NYS ROUTE 690



10 DEMOLITION THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"



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SCALE 1/8"=1'-0"

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TITLE

DEMOLITION THIRD FLOOR PLAN

A-003

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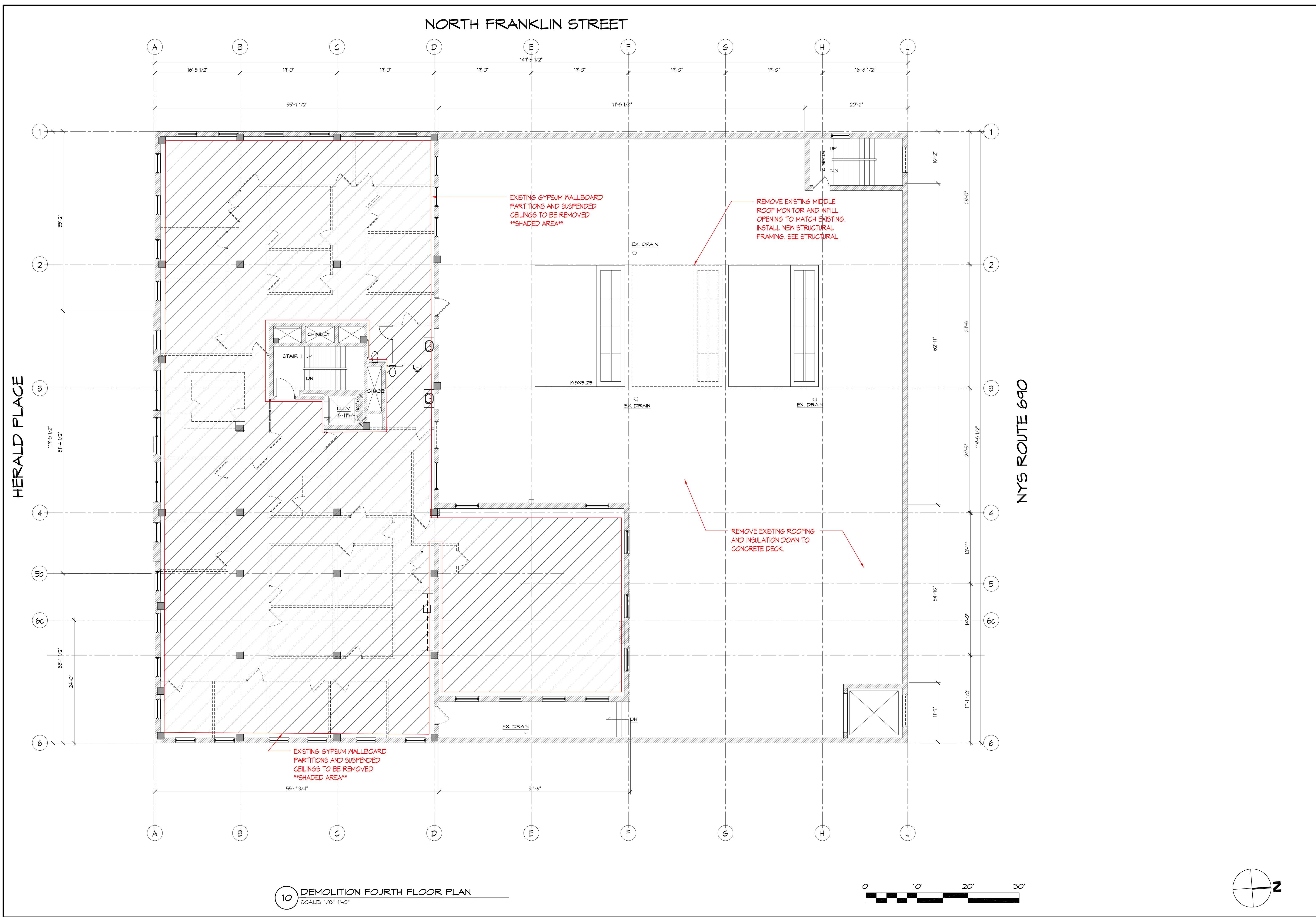
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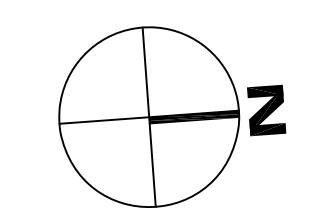
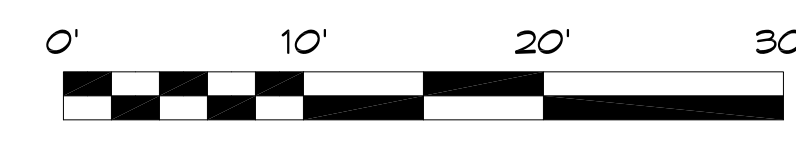
PROJ. --

TITLE DEMOLITION
FOURTH
FLOOR PLAN

A-004



10 DEMOLITION FOURTH FLOOR PLAN
SCALE: 1/8"=1'-0"



HERALD PLACE

NYS ROUTE 690

NORTH FRANKLIN STREET

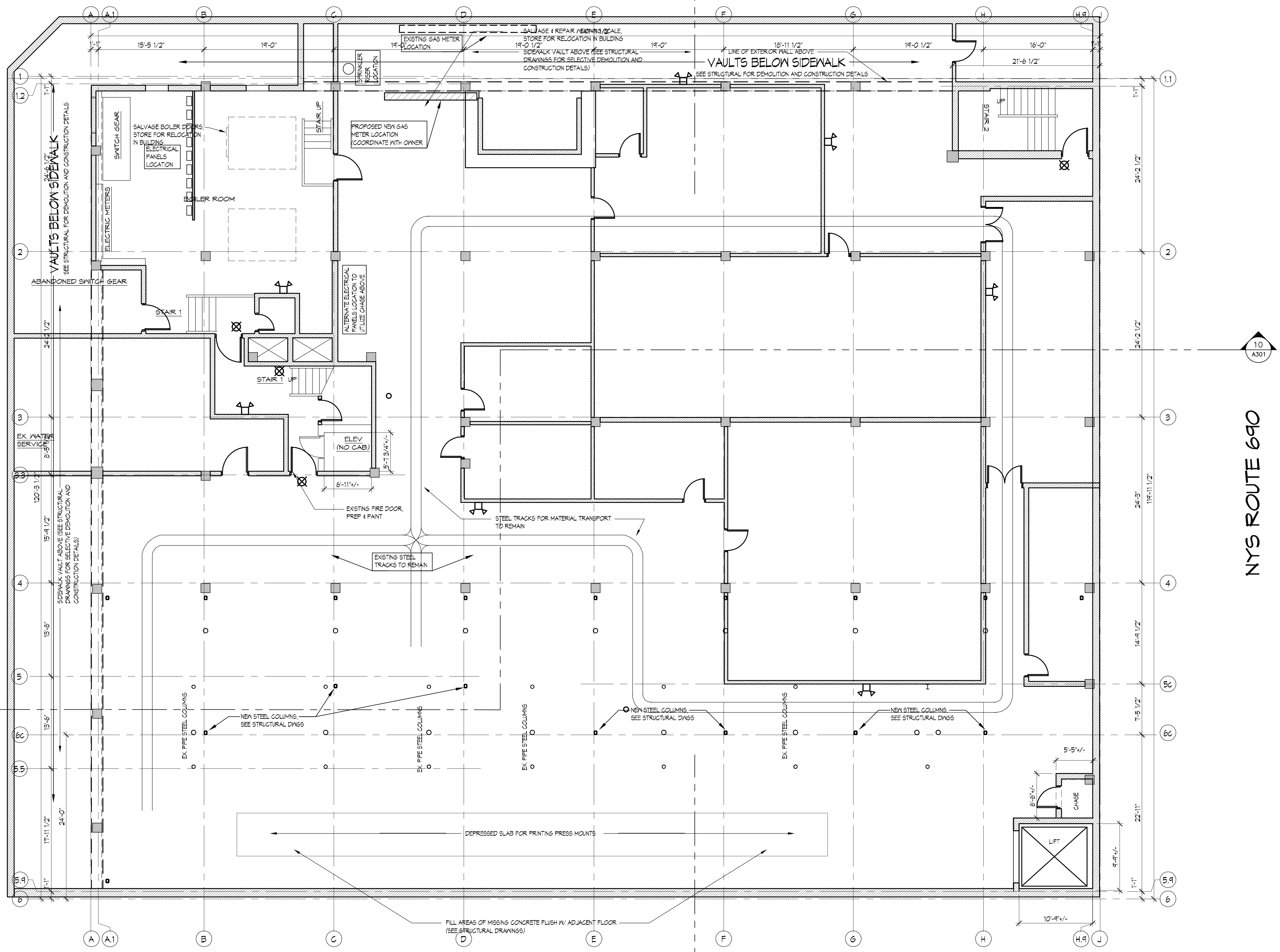
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LIGHTING LEGEND



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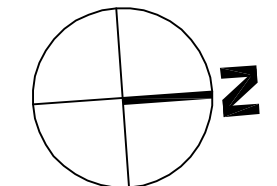
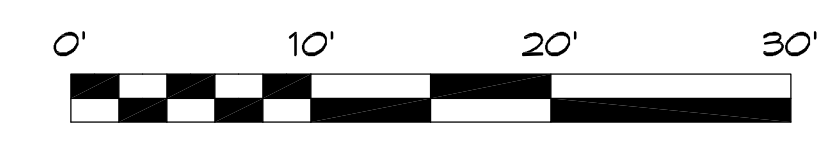
225 west jefferson st
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HERALD PLACE

NYS ROUTE 690

10 BASEMENT FLOOR PLAN
SCALE: 1/8"=1'-0"



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220 HERALD PLACE
SYRACUSE, NEW YORK

REVISIONS

NO.	DATE	BY
1	3.31.16	JFA
2	4.12.16	JFA

DATE 3/30/16

SCALE 1/8"=1'-0"

DRAWN

PROJ. --

TITLE

BASEMENT FLOOR PLAN

A-100

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220 HERALD PLACE
SYRACUSE, NEW YORK

REVISIONS

NO.	DATE	BY

DATE 7/29/15

SCALE 1/8"=1'-0"

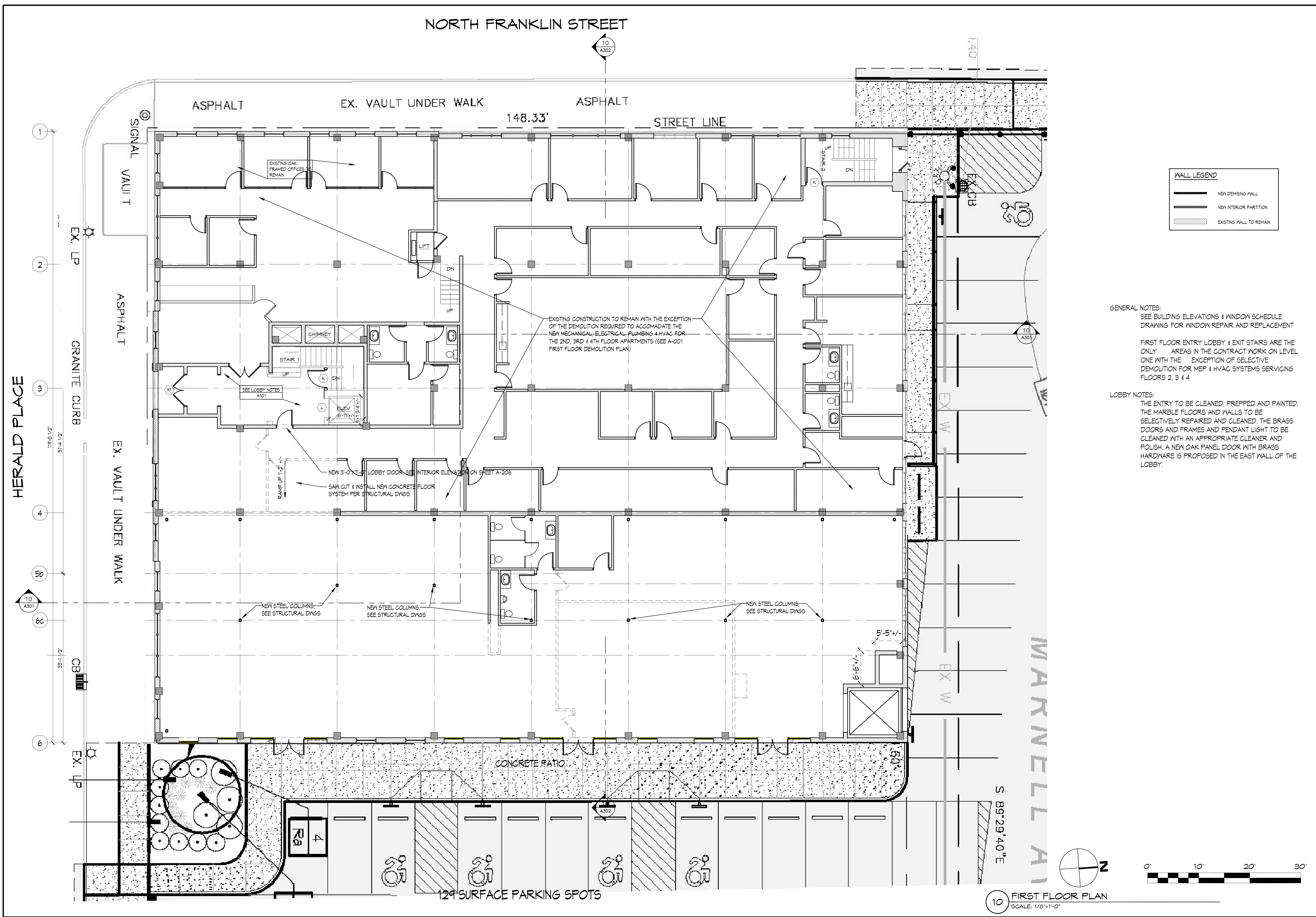
DRAWN

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TITLE

FIRST FLOOR PLAN

A-101



NORTH FRANKLIN STREET

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WALL LEGEND

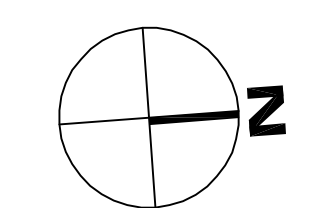
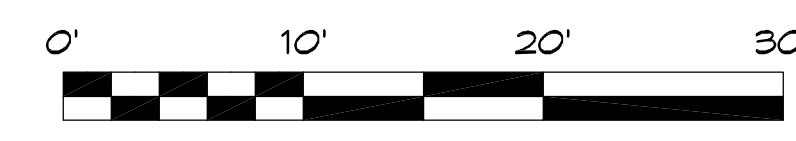
- NEW DEMISING WALL
- NEW INTERIOR PARTITION
- EXISTING WALL TO REMAIN
- FX 2A-10BC RATED FIRE EXTINGUISHERS, MOUNT @ 45" A.F.F. AS PER CODE DRAWINGS. PROVIDE "FIRE EXTINGUISHER" SIGNS ON WALL DIRECTLY ABOVE EACH UNIT. INSPECT 4 TAG ALL FIRE EXTINGUISHERS.

HERALD PLACE

NYS ROUTE 690



10 SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



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220 HERALD PLACE
SYRACUSE, NEW YORK

REVISIONS

NO.	DATE	BY
1	3.31.16	JFA
2	4.12.16	JFA

DATE 3/30/16

SCALE 1/8"=1'-0"

DRAWN

PROJ. --

TITLE

2ND FLOOR PLAN

A-102

NORTH FRANKLIN STREET

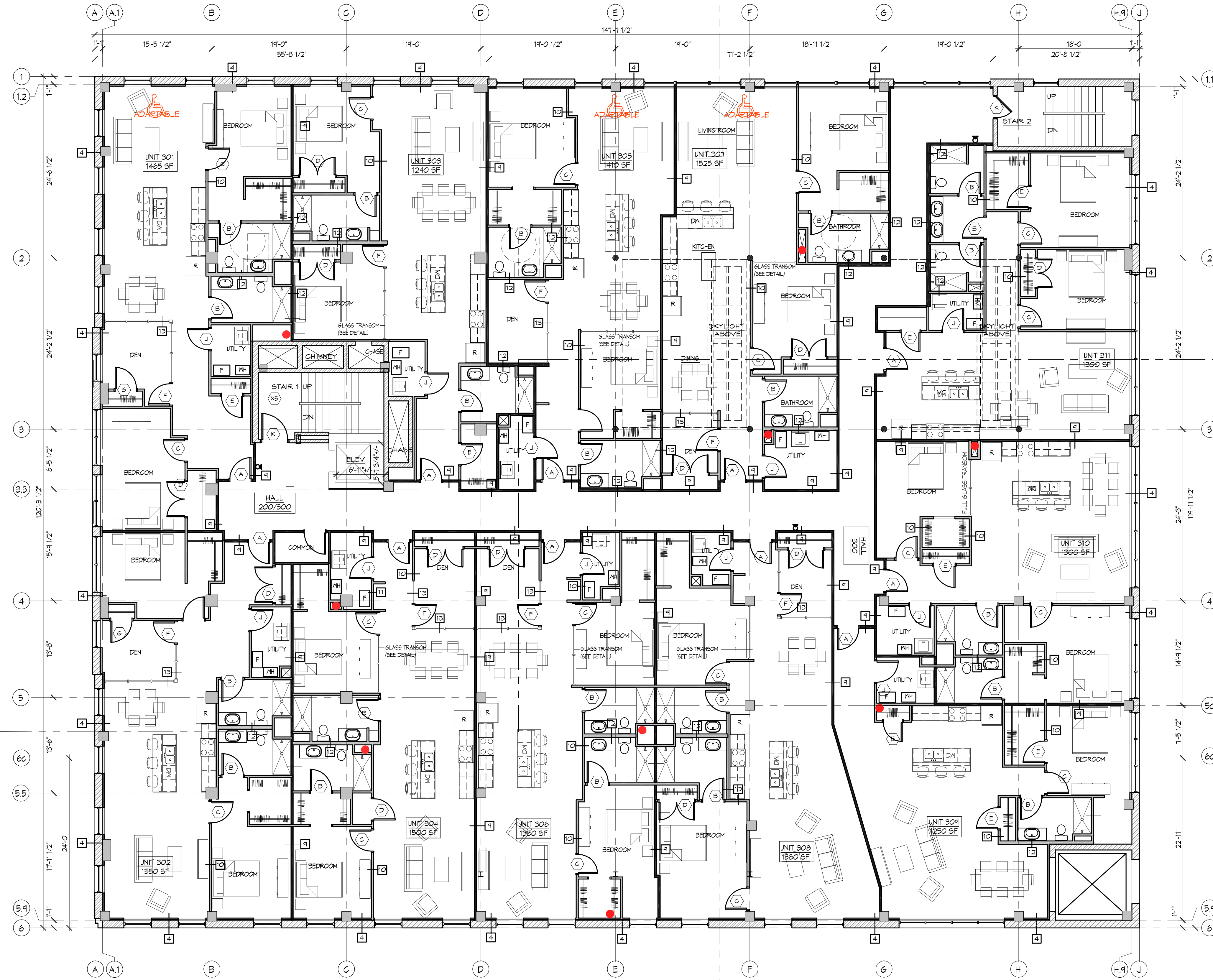
WALL LEGEND

- NEW DEMISING WALL
- NEW INTERIOR PARTITION
- EXISTING WALL TO REMAIN

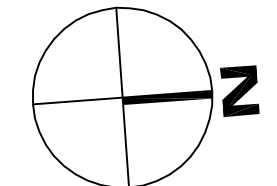
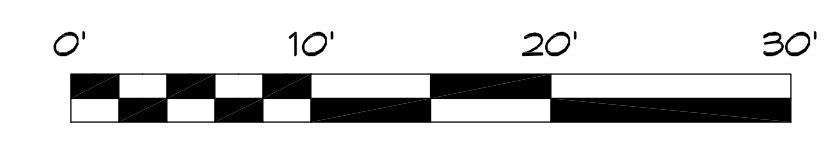
2A-10BC RATED FIRE EXTINGUISHERS, MOUNT @ 43' A.F.F. AS PER CODE DRAWINGS. PROVIDE 'FIRE EXTINGUISHER' SIGNS ON WALL DIRECTLY ABOVE EACH UNIT. INSPECT & TAG ALL FIRE EXTINGUISHERS.

HERALD PLACE

NYS ROUTE 690



10 THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"



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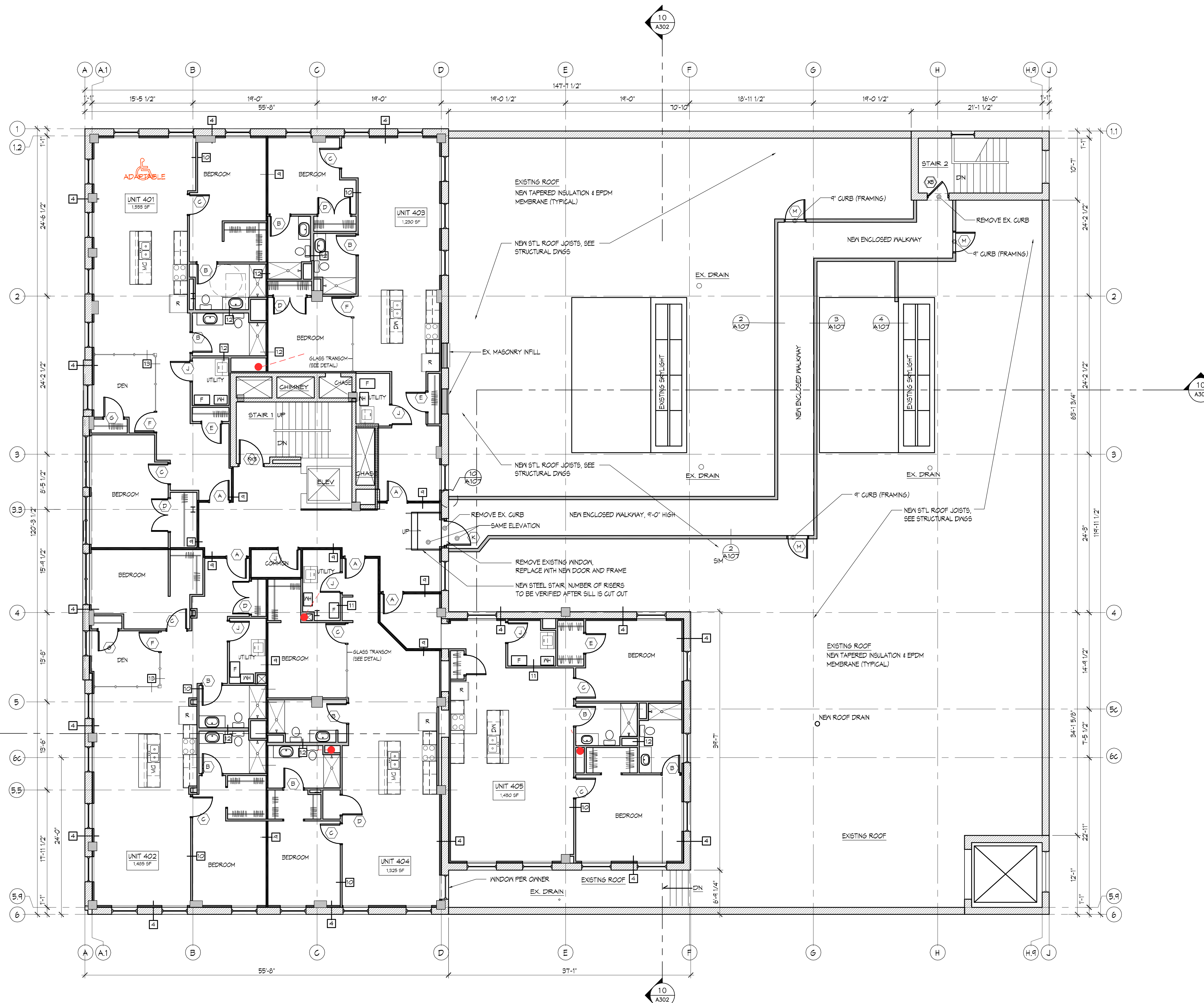


RENOVATIONS TO:
HERALD COMMONS
220 HERALD PLACE
SYRACUSE, NEW YORK

REVISIONS

NO.	DATE	BY
1	3.31.16	JFA
2	4.12.16	JFA

DATE 3/30/16
SCALE 1/8"=1'-0"
DRAWN
PROJ. --
TITLE



WALL LEGEND

- NEW DEMING WALL
- NEW INTERIOR PARTITION
- EXISTING WALL TO REMAIN
- 2A-10BC RATED FIRE EXTINGUISHERS, MOUNT @ 48" A.F.F. AS PER CODE DRAWINGS. PROVIDE "FIRE EXTINGUISHER" SIGNS ON WALL DIRECTLY ABOVE EACH UNIT. INSPECT & TAG ALL FIRE EXTINGUISHERS.

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DATE 3/30/16

SCALE 1/8"=1'-0"

DRAWN

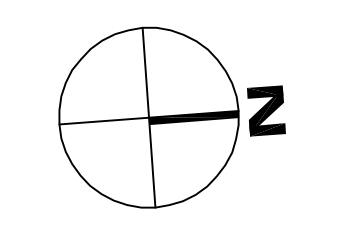
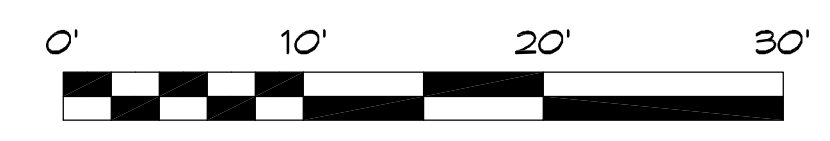
PROJ. --

TITLE

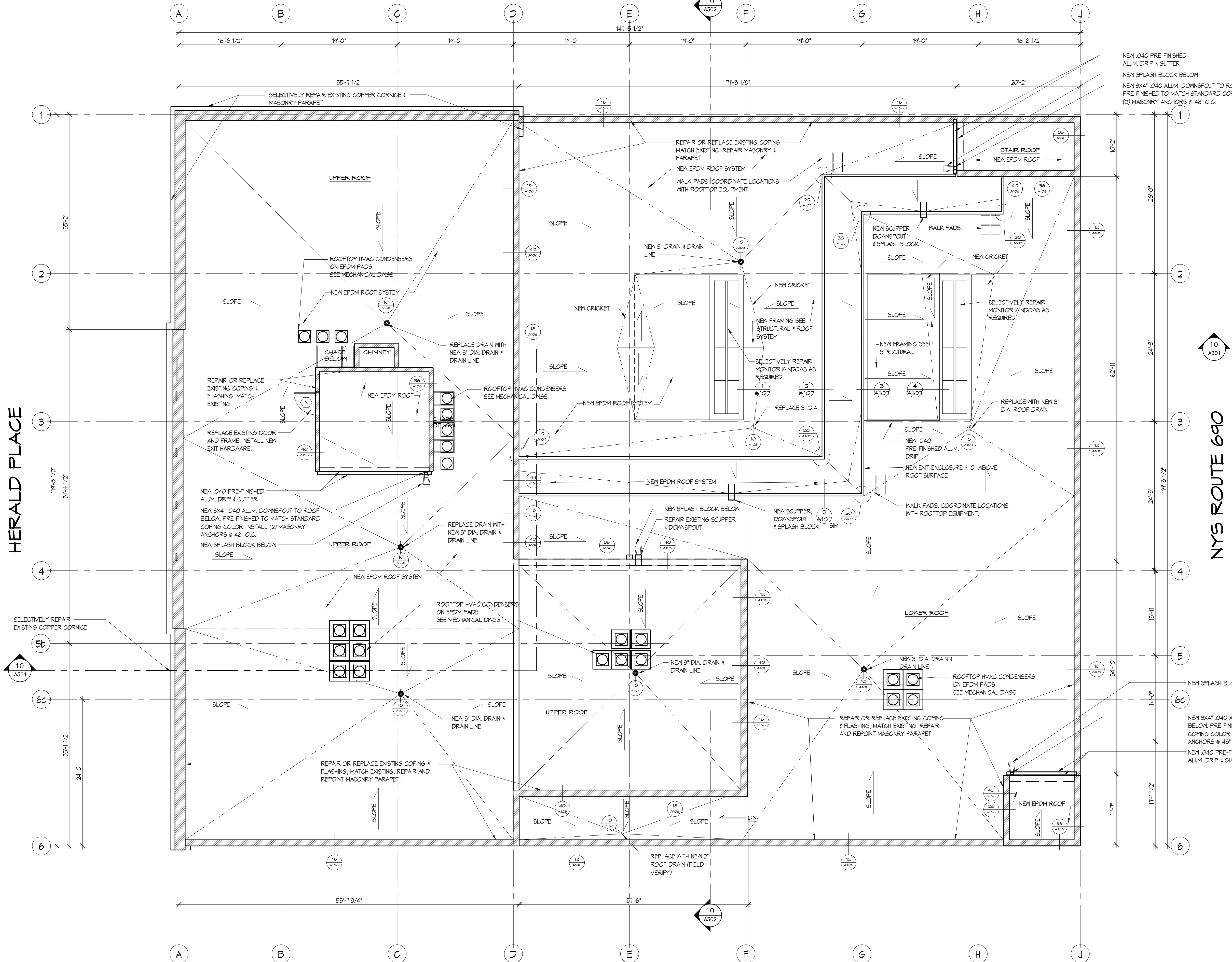
FOURTH FLOOR AND ROOF PLAN

A-104

10 FOURTH FLOOR PLAN AND ROOF
SCALE: 1/8"=1'-0"



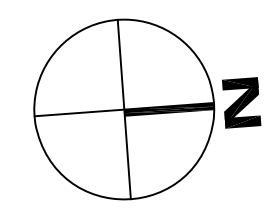
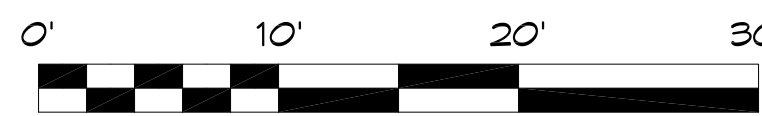
NORTH FRANKLIN STREET



HERALD PLACE

NYS ROUTE 690

10 UPPER ROOF PLAN (FIFTH)
SCALE: 1/8"=1'-0"



macknight architects
225 west jefferson st
syracuse, ny 13202
315 424 0018
macknightarchitects.com

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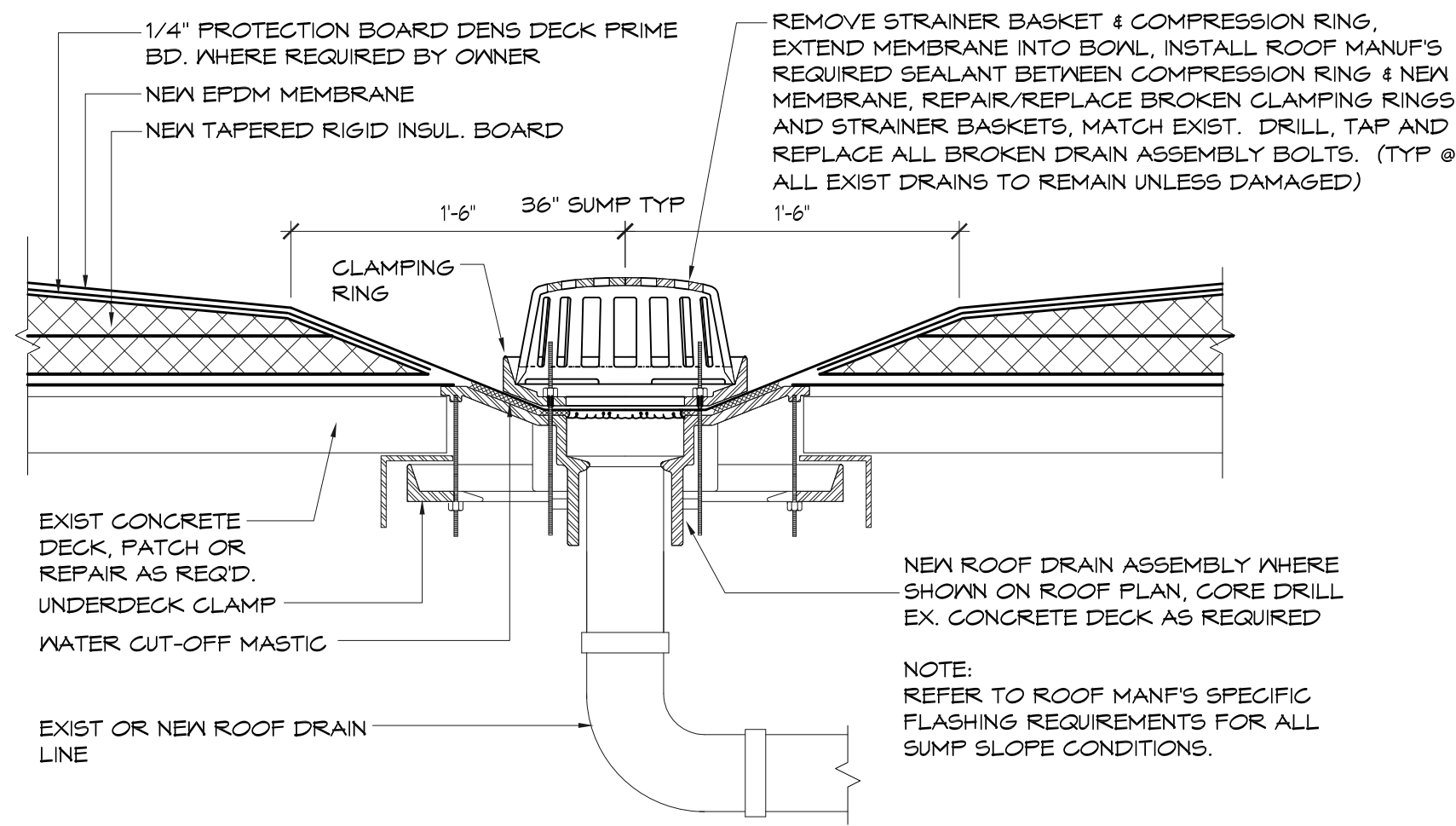
RENOVATIONS TO:
HERALD COMMONS
220 HERALD PLACE
SYRACUSE, NEW YORK

REVISIONS

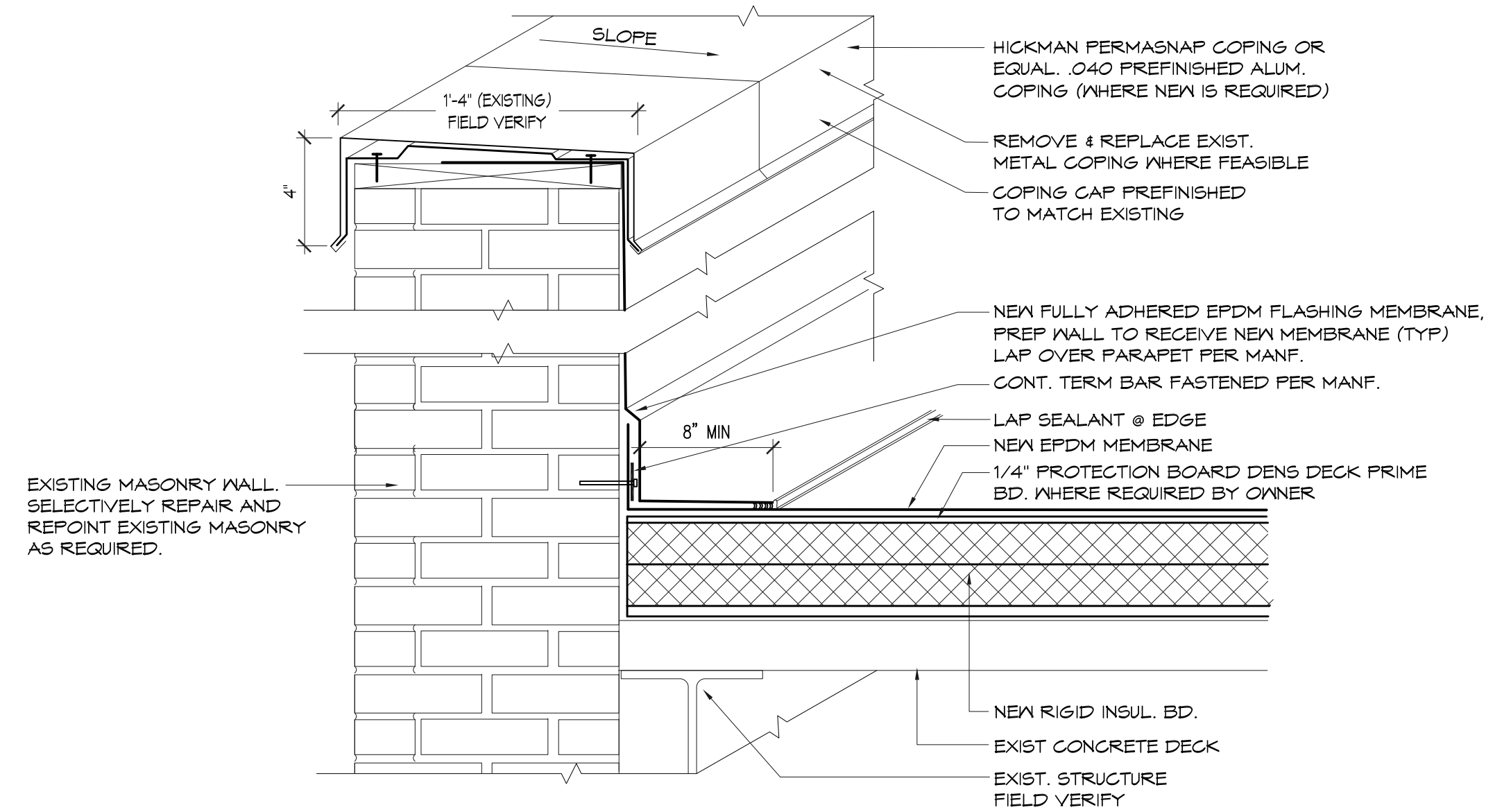
NO.	DATE	BY

DATE 7/29/15
SCALE 1/8"=1'-0"
DRAWN
PROJ. --
TITLE

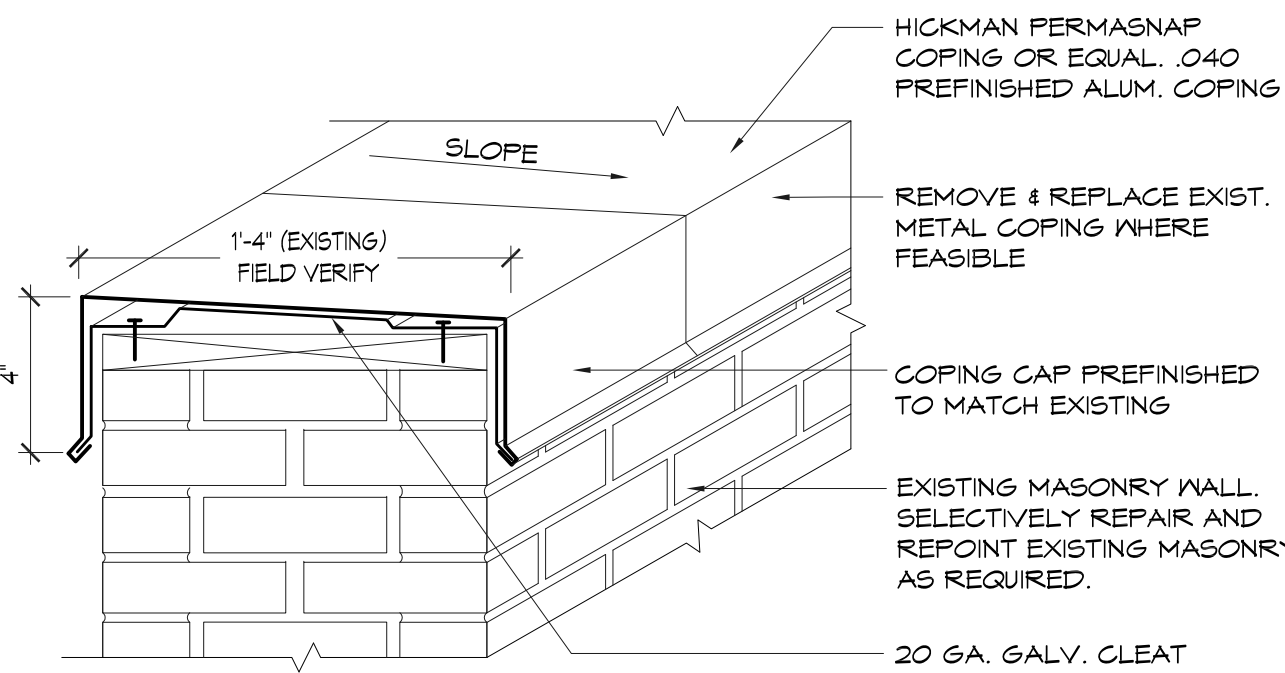
UPPER ROOF
FLOOR PLAN
A-105



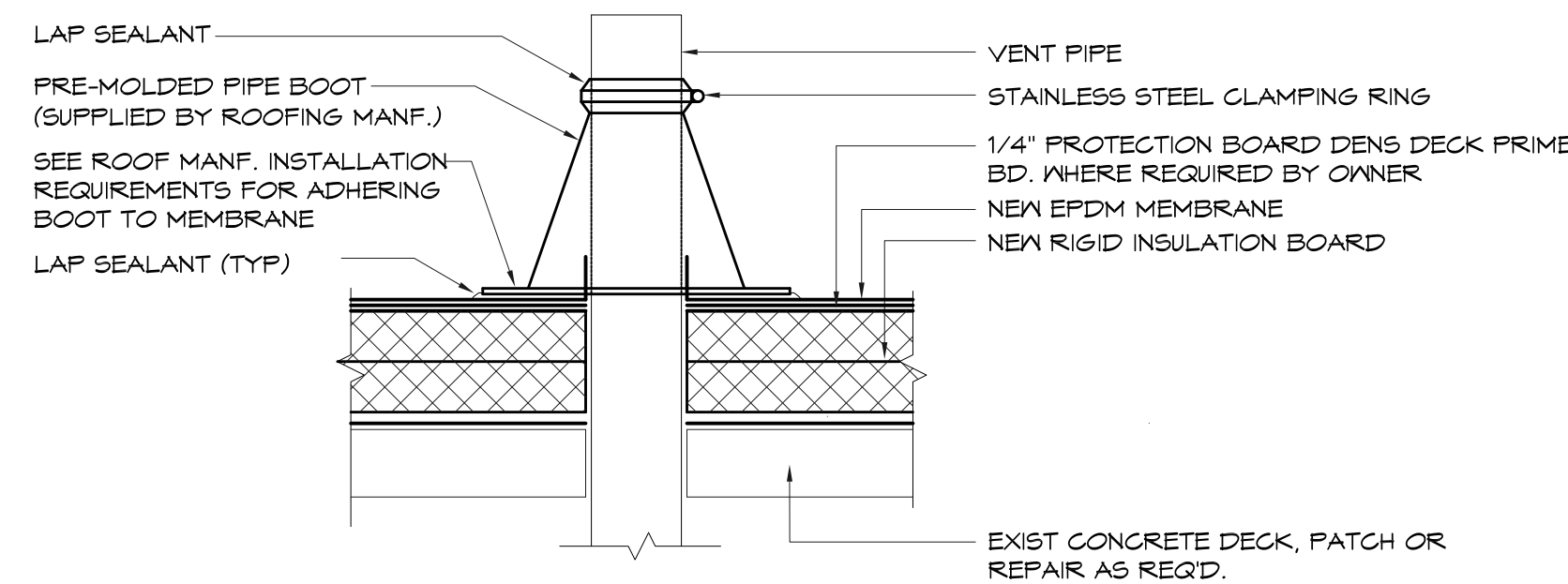
10 ROOF DRAIN DETAIL
SCALE: 1-1/2"=1'-0"



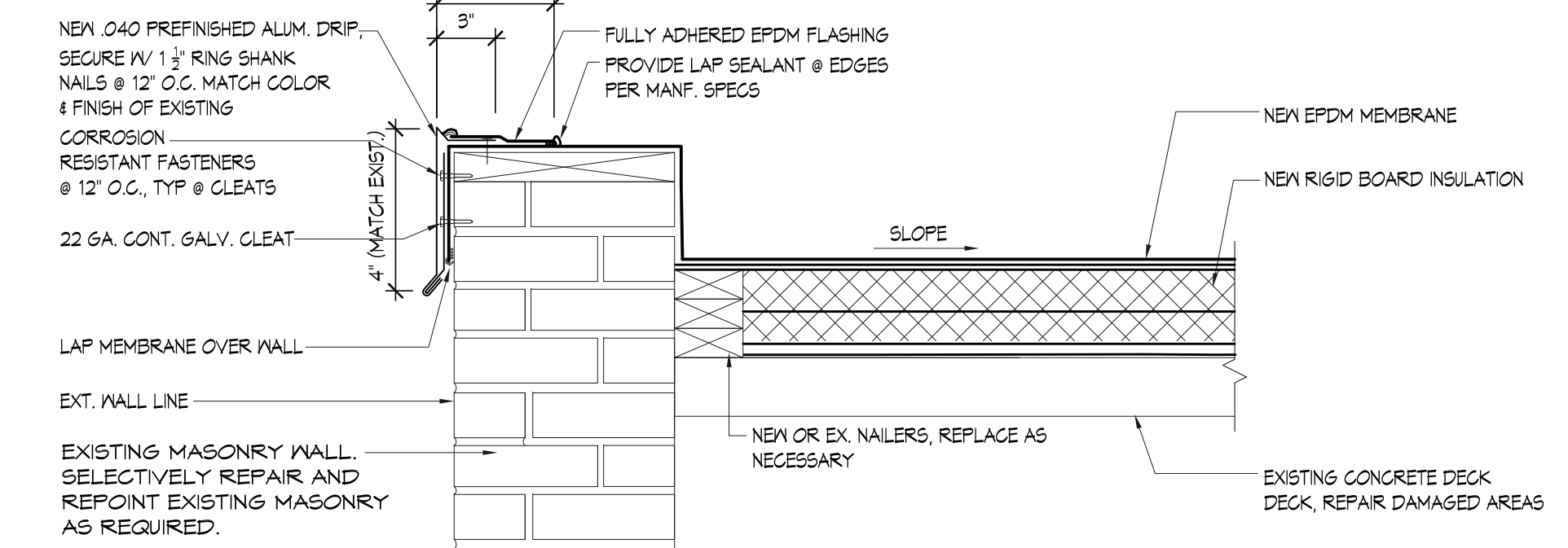
18 PARAPET DETAIL
SCALE: 1-1/2"=1'-0"



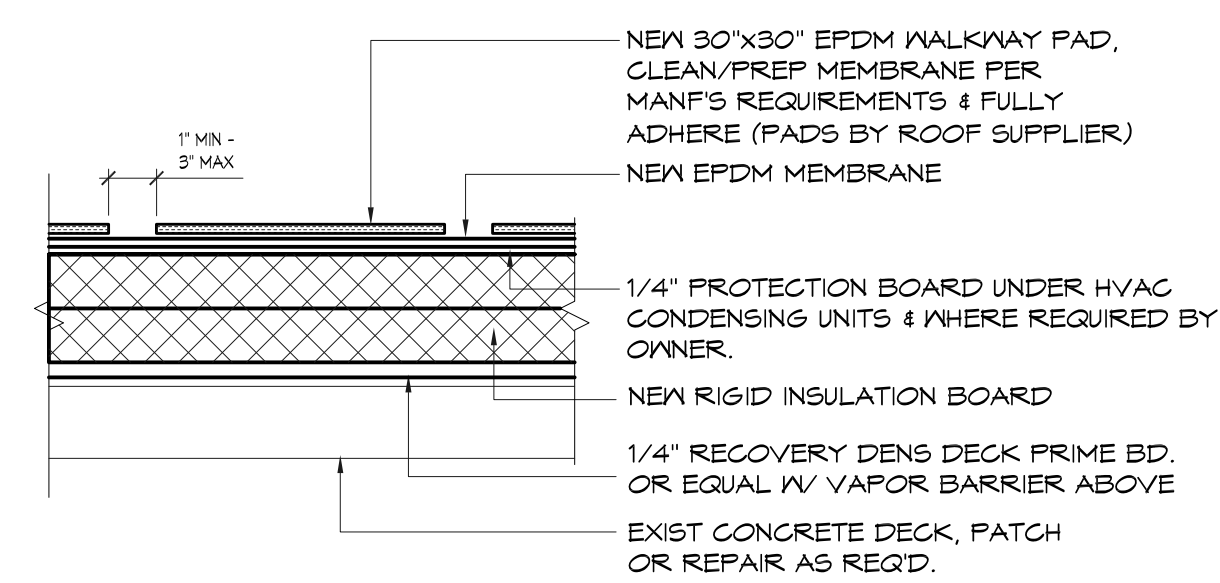
30 PARAPET DETAIL
SCALE: 1-1/2"=1'-0"



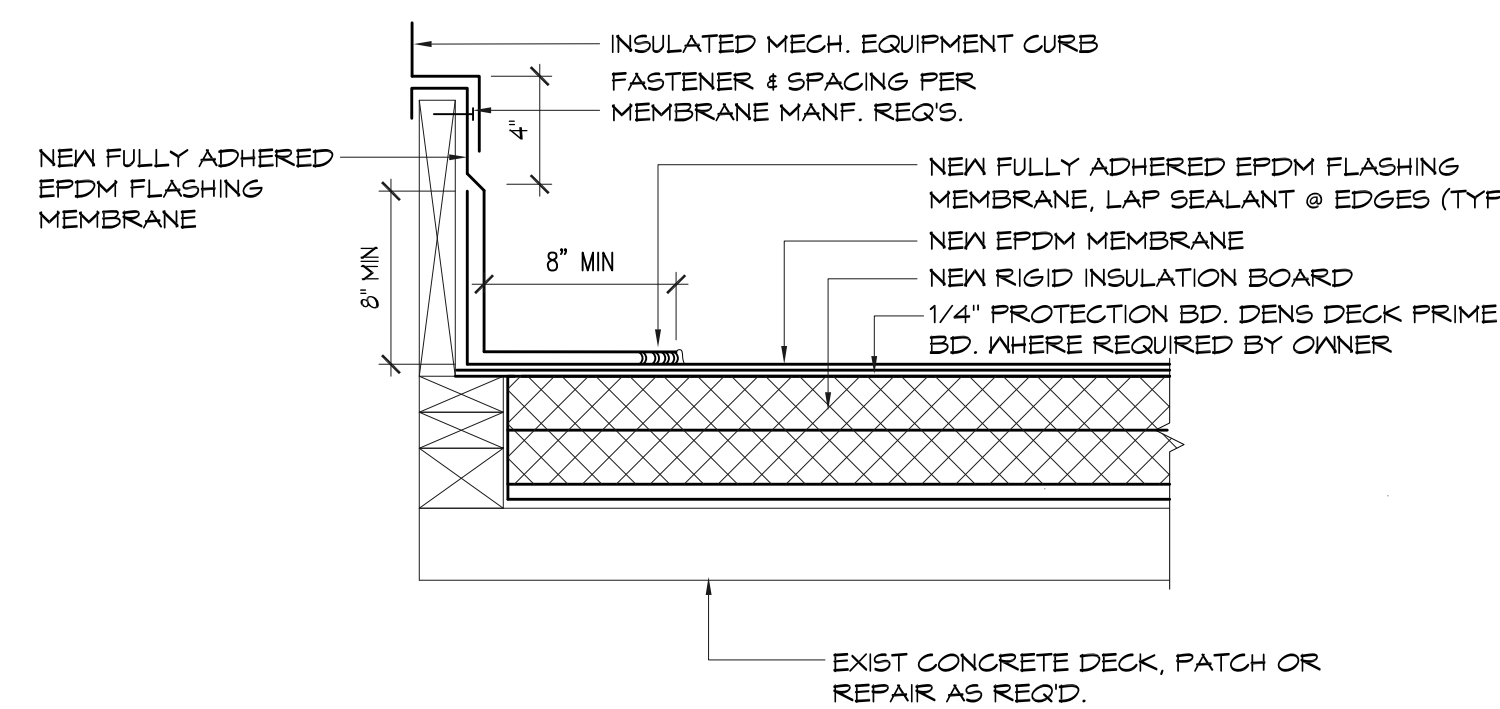
32 VENT PIPE FLASH BOOT DETAIL
SCALE: 1-1/2"=1'-0"



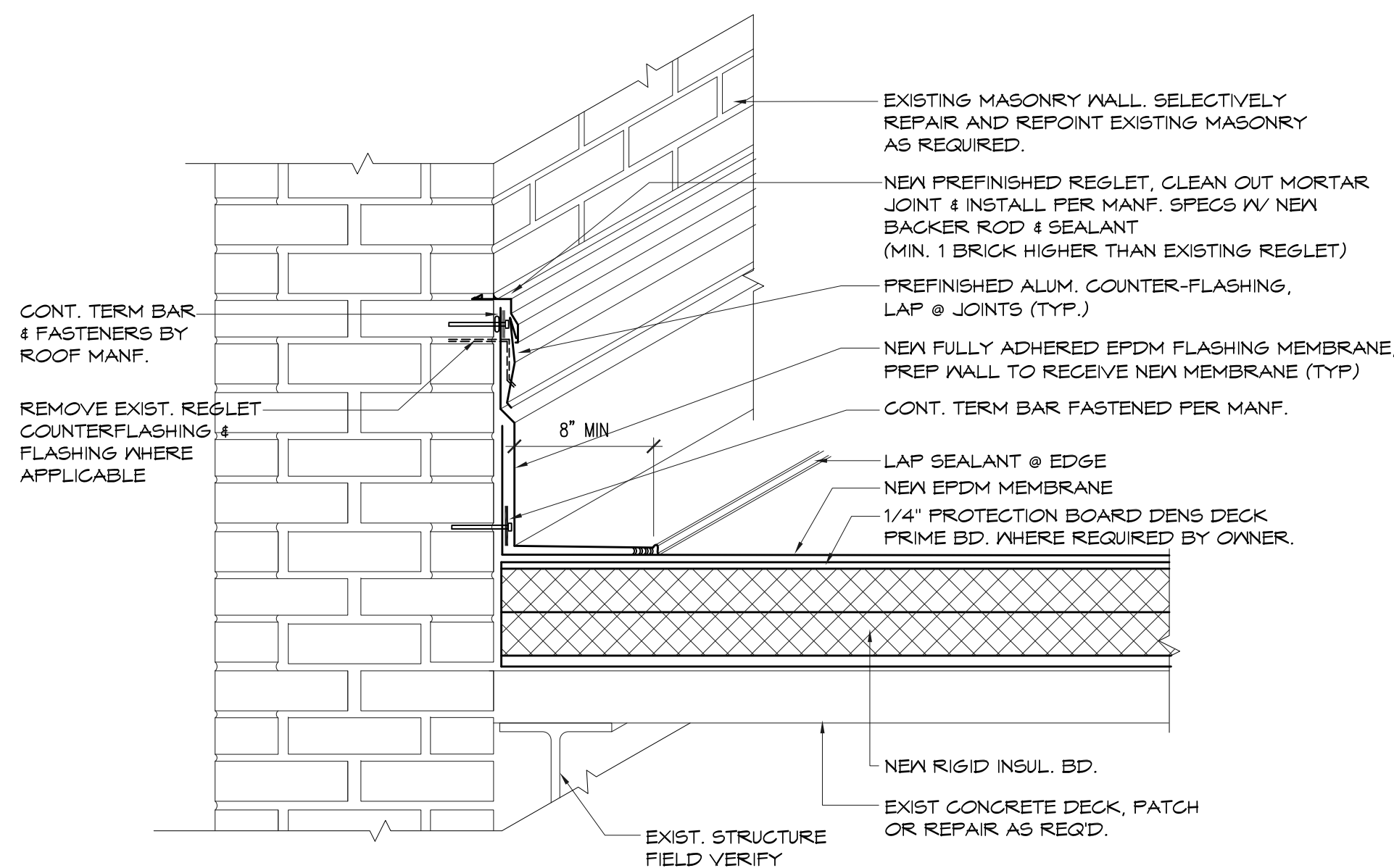
36 ROOF EDGE DETAIL
SCALE: 1-1/2"=1'-0"



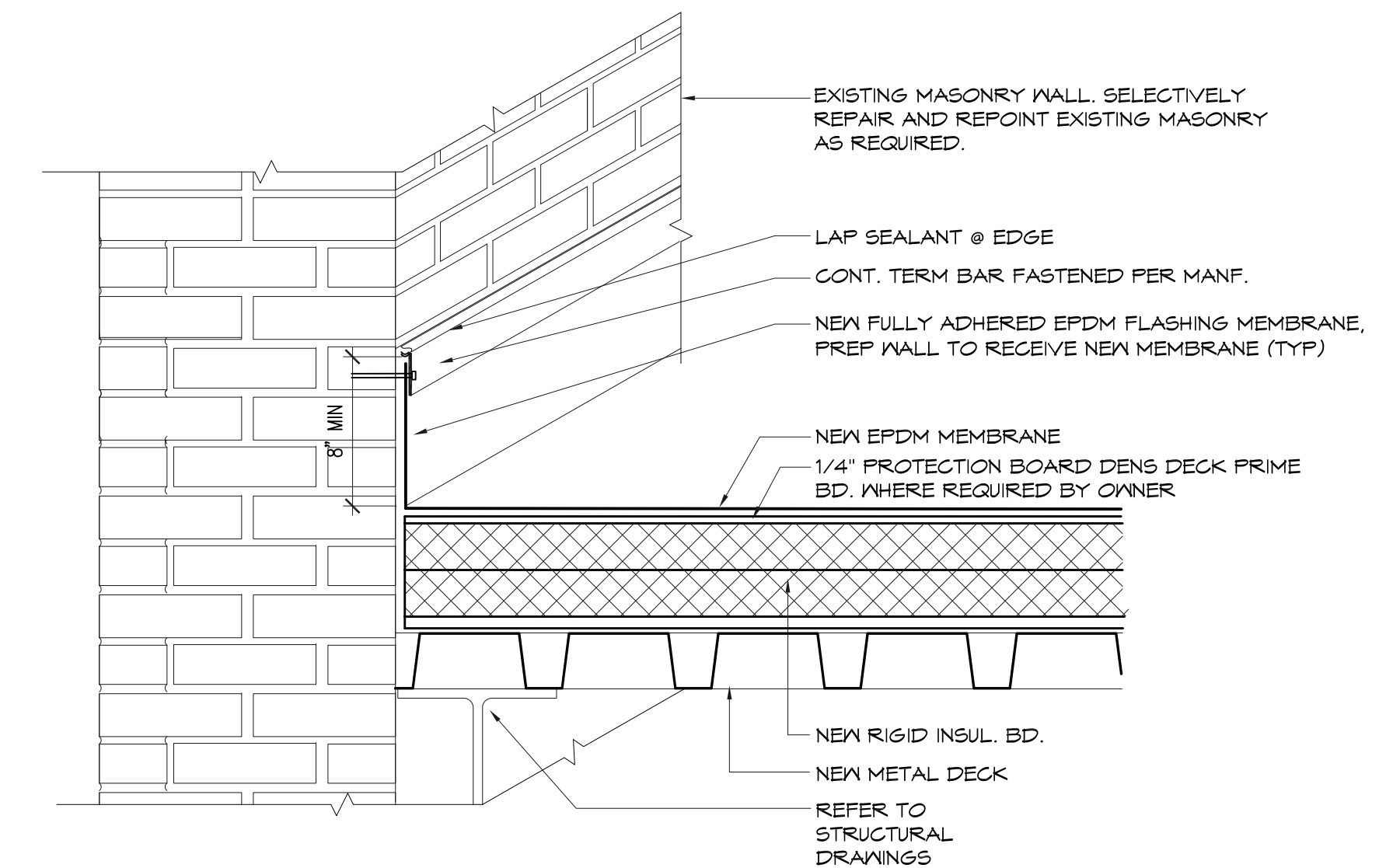
34 WALKWAY PAD DETAIL
SCALE: 1-1/2"=1'-0"



42 TYPICAL MECHANICAL CURB DETAIL
SCALE: 1-1/2"=1'-0"



40 PARAPET FLASHING DETAIL
SCALE: 1-1/2"=1'-0"



44 NEW ROOF TERMINATION
SCALE: 1-1/2"=1'-0"

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RENOVATIONS TO:
HERALD COMMONS
220 HERALD PLACE
SYRACUSE, NEW YORK

REVISIONS

NO.	DATE	BY

DATE 7/29/15

SCALE(S) SHOWN

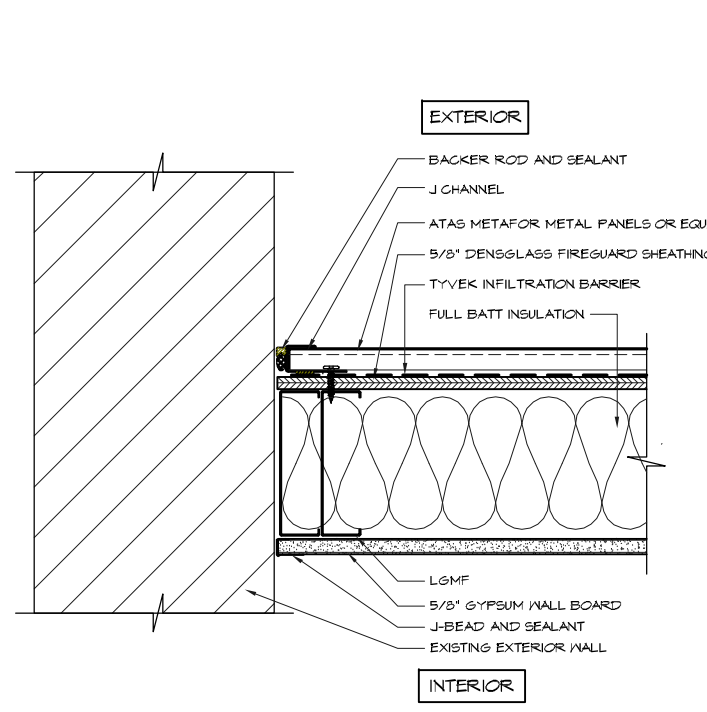
DRAWN JFA

PROJ. --

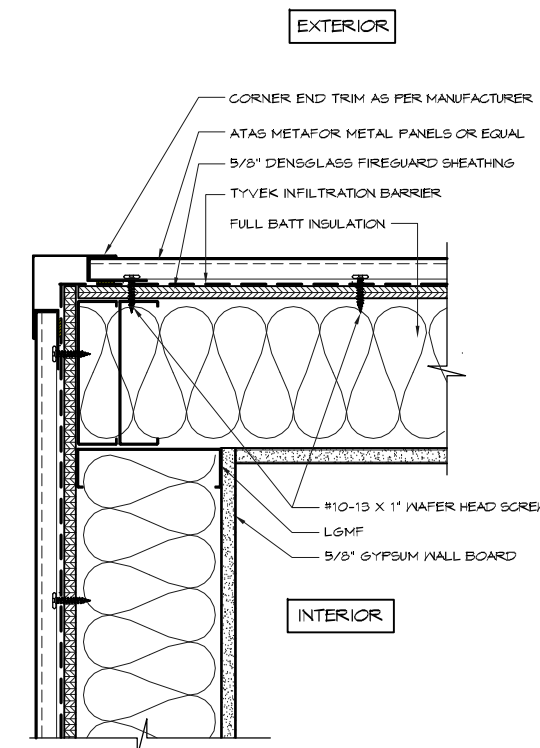
TITLE

ROOF DETAILS

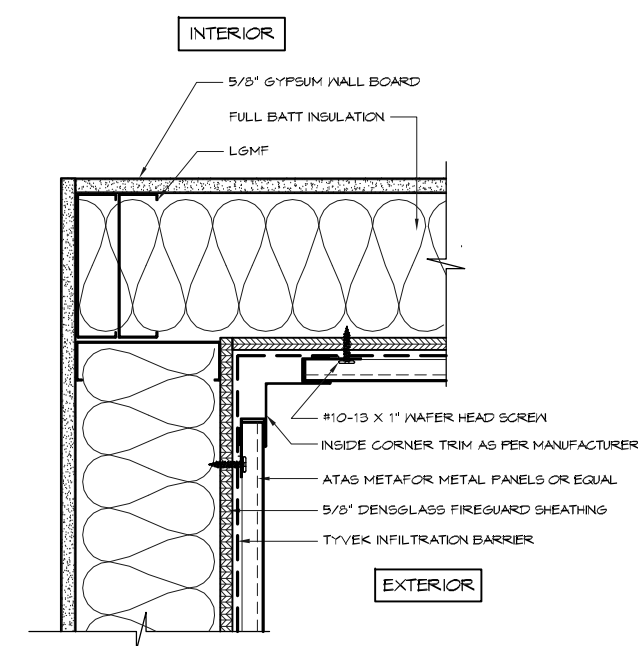
A-106



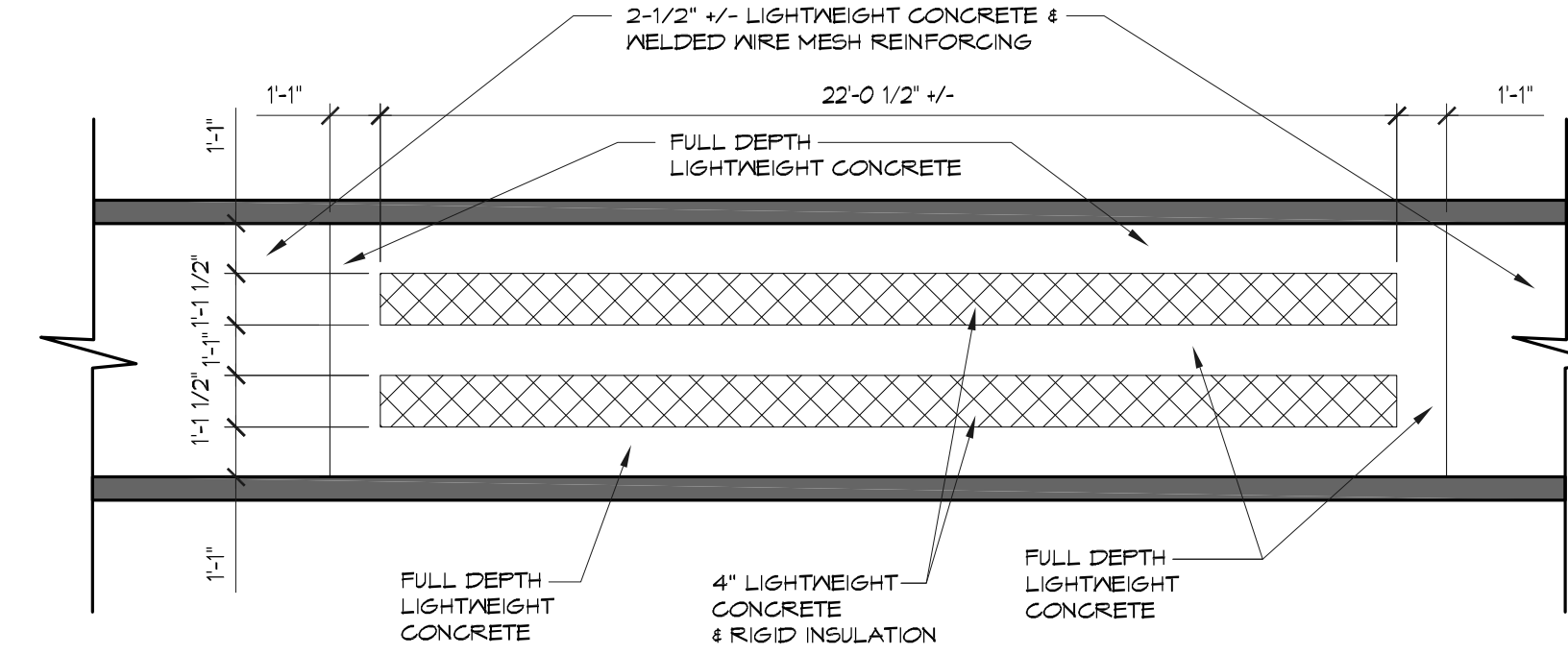
10 PLAN DETAIL AT NEW ROOF CORRIDOR
 SCALE: 1-1/2"=1'-0"



20 PLAN DETAIL- METAL PANEL CORNER
 SCALE: 1-1/2"=1'-0"

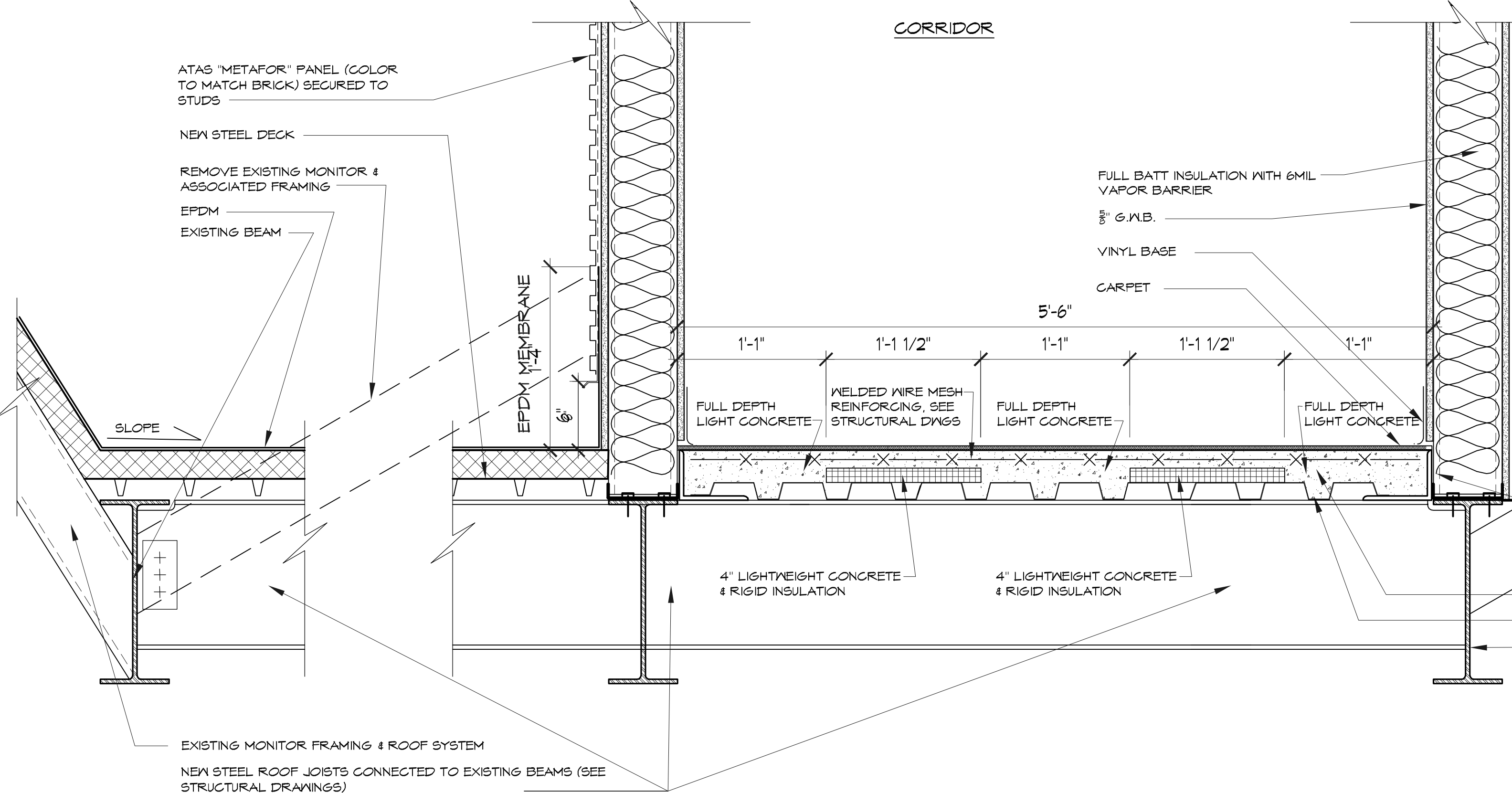
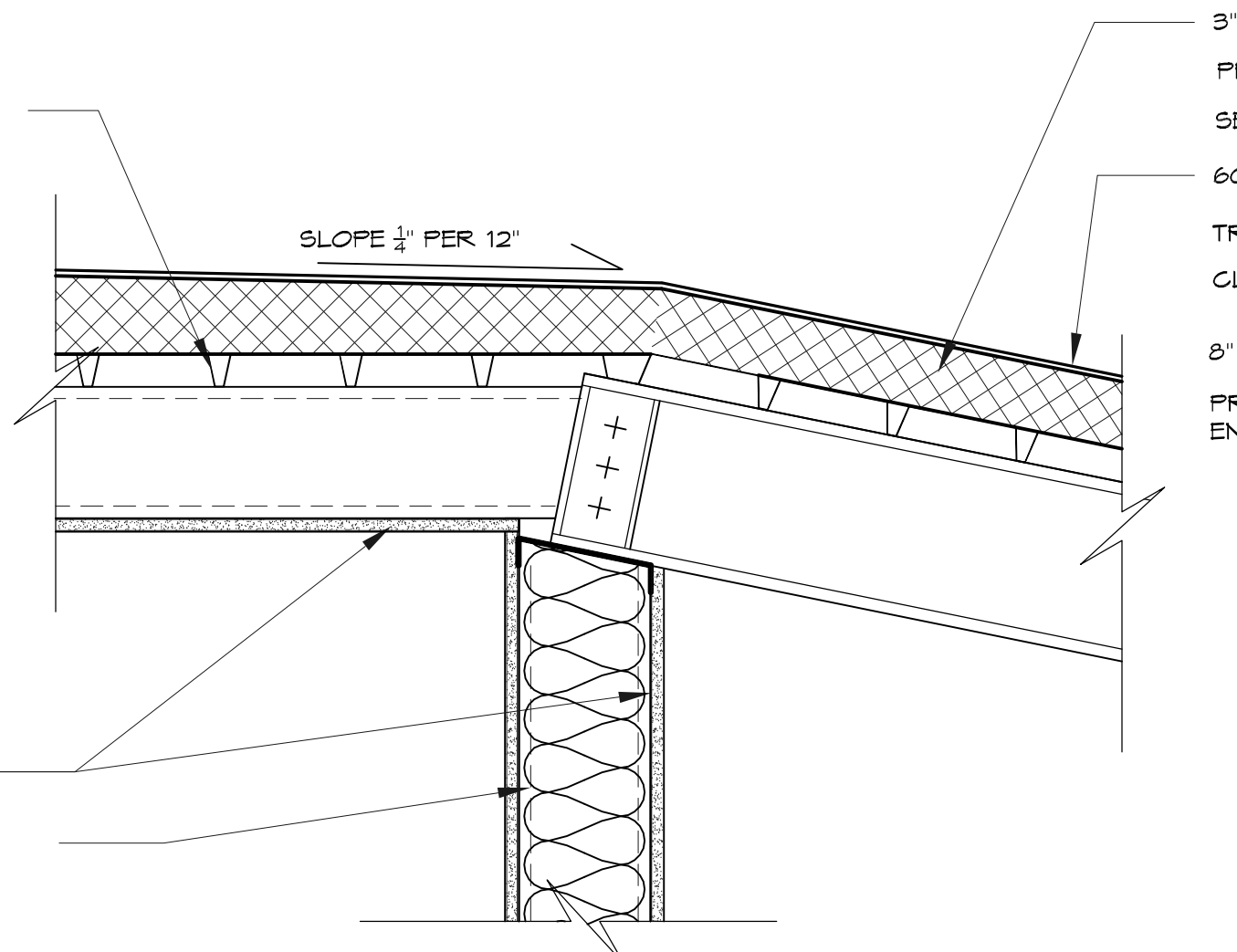
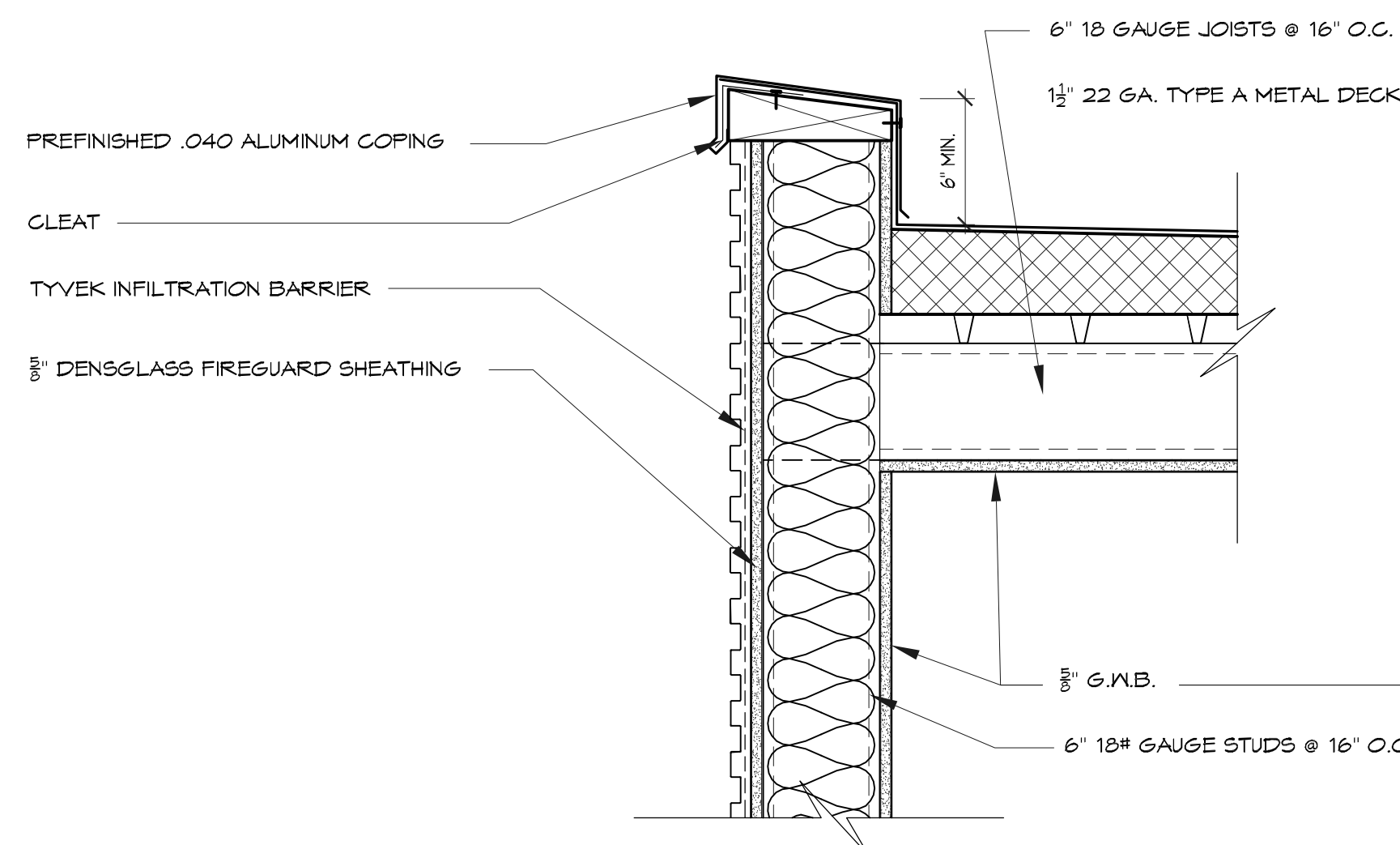


30 PLAN DETAIL- METAL PANEL CORNER
 SCALE: 1-1/2"=1'-0"



40 PLAN DETAIL- SKYLIGHT INFILL
 SCALE: 1/4"=1'-0"

NOTE: SEE STRUCTURAL DWGS FOR METAL DECK, STL BEAMS, LIGHTWEIGHT CONCRETE, WELDED WIRE MESH REINFORCING & ETC.



1 ROOF DETAIL
 SCALE: 1-1/2"=1'-0"

2 EXIT CORRIDOR WALL/ROOF DETAIL
 SCALE: 1-1/2"=1'-0"

3 EXIT CORRIDOR WALL/ROOF DETAIL
 SCALE: 1-1/2"=1'-0"

4 ROOF DETAIL
 SCALE: 1-1/2"=1'-0"

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NO.	DATE	BY

DATE 12/4/15
 SCALE AS SHOWN
 DRAWN JFA
 PROJ. --
 TITLE

ROOF DETAILS

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2	4.12.16	JFA

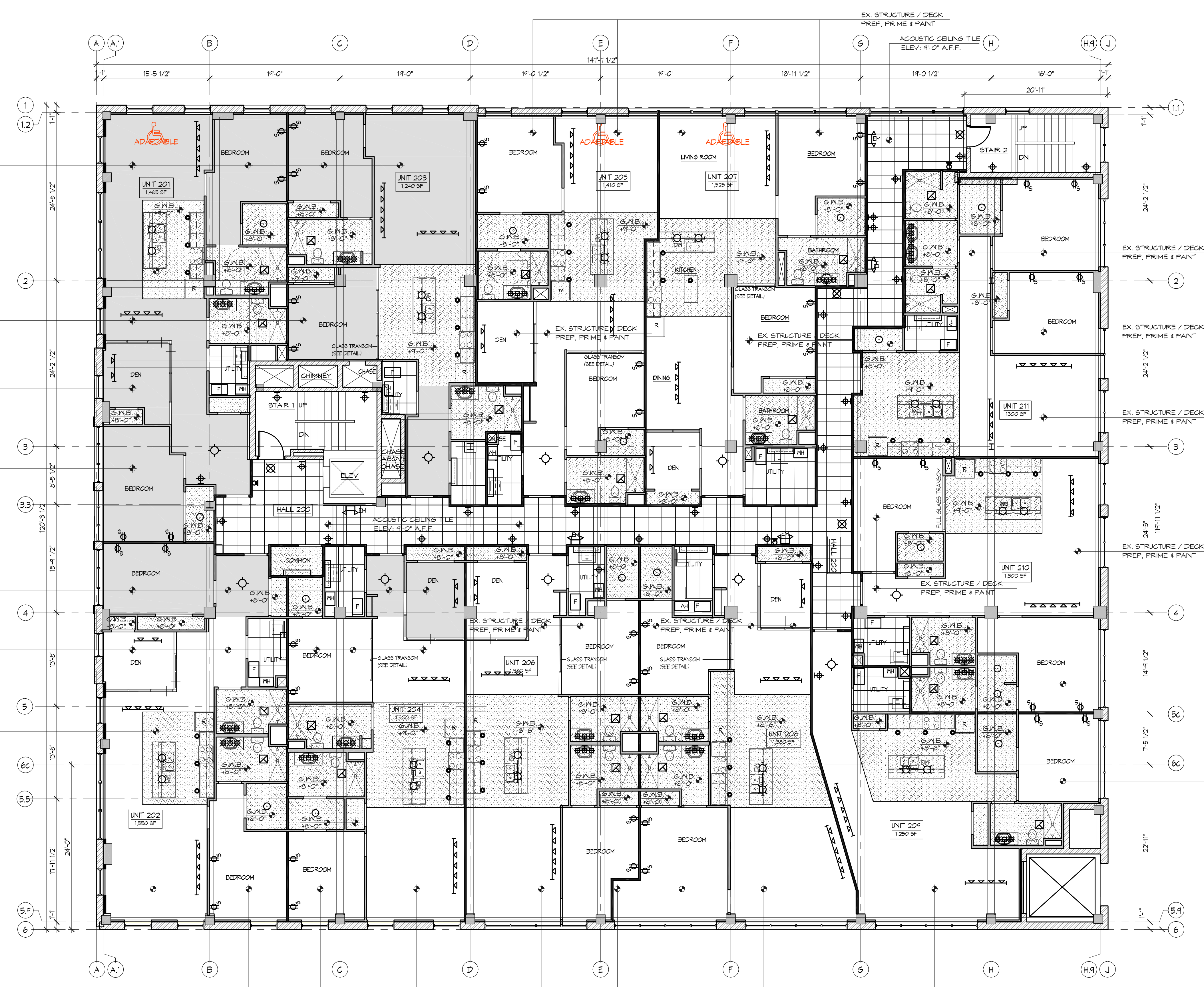
DATE 3/30/16
SCALE 1/8"=1'-0"
DRAWN
PROJ. --
TITLE 2ND FLR REFLECTED CEILING PLAN

CEILING LEGEND

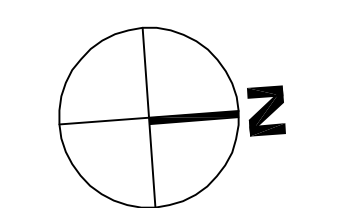
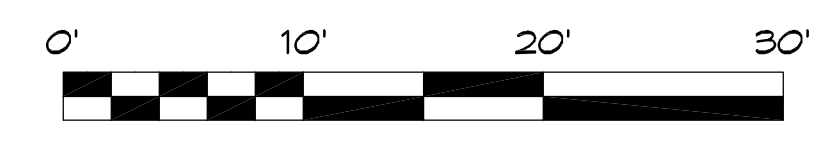
- GYPSUM WALL BOARD CEILING
1 LAYER 5/8" GYPSUM BOARD
MOISTURE RESISTANT G.A.B. @ MET AREAS (TYP.)
ATTACH NEW GYPSUM BOARD SUSPENSION SYSTEM
OR LIGHT GAUGE FRAMING. PREP, PRIME & PAINT PER OWNER
- ORIGINAL PLASTER CEILING
1 LAYER 1/2" GYPSUM WALL BOARD SECURED
TO ORIGINAL PLASTER CEILING, OR SUSPENDED
TIGHT TO ORIGINAL CEILING
PREP, PRIME & PAINT PER OWNER
- ACOUSTIC CEILING SYSTEM
LOW PROFILE WHITE T-GRID
2X2' ACOUSTIC CEILING TILES
- ACOUSTIC CEILING SYSTEM
LOW PROFILE WHITE T-GRID
2X4' ACOUSTIC CEILING TILES
- EXISTING STRUCTURE / DECK
PATCH EXISTING VOIDS IN CONCRETE
PREP, PRIME & PAINT PER OWNER

LIGHTING LEGEND

- SWITCHED OUTLET, STAGGER BACK TO BACK OUTLETS MIN.
ONE STUD CAVITY
- WALL SCONCE (ADA HEIGHT)
- VANITY LIGHT, CENTER ON VANITY AS DIRECTED BY OWNER
- EXHAUST FAN / LIGHT COMBO, VENT TO EXTERIOR (ROOF)
- 8' TRACK IV 5 LED HEADS
- 6' TRACK IV 4 LED HEADS
- 4' TRACK IV 2 LED HEADS
- SURFACE MOUNT LED DOWNLIGHT
- 4' LED STRIP LIGHT
- PENDANT LIGHT UP/DOWN
- 6' LED CAN LIGHT
- PENDANTS OVER KITCHEN ISLAND
- EMERGENCY EXIT SIGN
- EMERGENCY EXIT LIGHT



10 SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 1/8"=1'-0"



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RENOVATIONS TO:
HERALD COMMONS
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REVISIONS

NO.	DATE	BY
1	3.31.16	JFA
2	4.12.16	JFA

DATE 3/30/16

SCALE 1/8"=1'-0"

DRAWN

PROJ. --

TITLE 3RD FLR REFLECTED CEILING PLAN

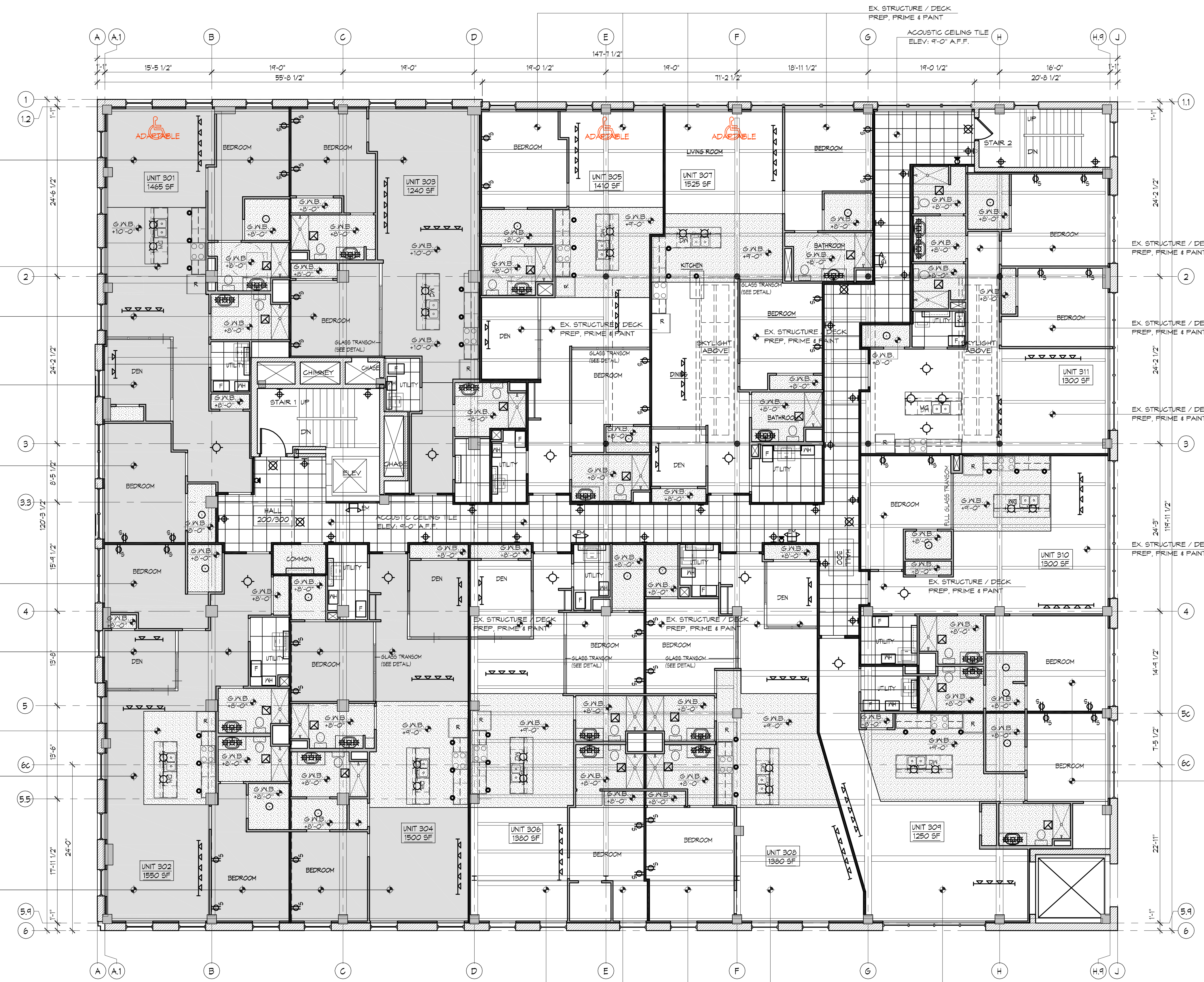
A-113

CEILING LEGEND

- GYPSUM WALL BOARD CEILING
1 LAYER 5/8" GYPSUM BOARD
MOISTURE RESISTANT G.A.B. @ NET AREAS (TYP.)
ATTACH NEW GYPSUM BOARD SUSPENSION SYSTEM
OR LIGHT GAUGE FRAMING. PREP, PRIME & PAINT PER OWNER
- ORIGINAL PLASTER CEILING
1 LAYER 1/2" GYPSUM WALL BOARD SECURED
TO ORIGINAL PLASTER CEILING, OR SUSPENDED
TIGHT TO ORIGINAL CEILING
PREP, PRIME & PAINT PER OWNER
- ACOUSTIC CEILING SYSTEM
LOW PROFILE WHITE T-GRID
2X2" ACOUSTIC CEILING TILES
- ACOUSTIC CEILING SYSTEM
LOW PROFILE WHITE T-GRID
2X4" ACOUSTIC CEILING TILES
- EXISTING STRUCTURE / DECK
PATCH EXISTING VOIDS IN CONCRETE
PREP, PRIME & PAINT PER OWNER

LIGHTING LEGEND

- SWITCHED OUTLET, STAGGER BACK TO BACK OUTLETS MIN.
ONE STUD CAVITY
- WALL SCONCE (ADA HEIGHT)
- VANITY LIGHT, CENTER ON VANITY AS DIRECTED BY OWNER
- EXHAUST FAN / LIGHT COMBO, VENT TO EXTERIOR (ROOF)
- 8' TRACK IV 5 LED HEADS
- 6' TRACK IV 4 LED HEADS
- 4' TRACK IV 2 LED HEADS
- SURFACE MOUNT LED DOWNLIGHT
- 4' LED STRIP LIGHT
- PENDANT LIGHT UP/DOWN
- 6" LED CAN LIGHT
- PENDANTS OVER KITCHEN ISLAND
- EMERGENCY EXIT SIGN
- EMERGENCY EXIT LIGHT



NEW GYPSUM WALL BOARD TIGHT TO EX. CEILING
MATCH ORIGINAL HISTORIC PLASTER CEILING

NEW GYPSUM WALL BOARD SOFFIT
ELEV. = +10'-0"

NEW GYPSUM WALL BOARD TIGHT TO EX. CEILING
MATCH ORIGINAL HISTORIC PLASTER CEILING

NEW GYPSUM WALL BOARD TIGHT TO EX. CEILING
MATCH ORIGINAL HISTORIC PLASTER CEILING

NEW GYPSUM WALL BOARD TIGHT TO EX. CEILING
MATCH ORIGINAL HISTORIC PLASTER CEILING

NEW GYPSUM WALL BOARD TIGHT TO EX. CEILING
MATCH ORIGINAL HISTORIC PLASTER CEILING

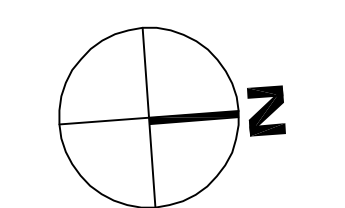
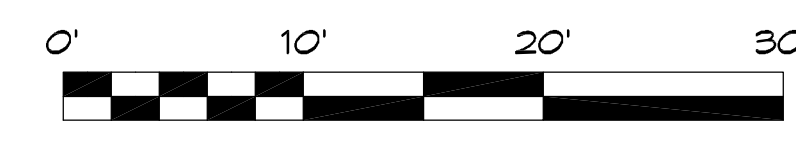
NEW GYPSUM WALL BOARD TIGHT TO EX. CEILING
MATCH ORIGINAL HISTORIC PLASTER CEILING

NEW GYPSUM WALL BOARD SOFFIT
ELEV. = +11'-0"

NEW GYPSUM WALL BOARD TIGHT TO EX. CEILING
MATCH ORIGINAL HISTORIC PLASTER CEILING

NEW GYPSUM WALL BOARD TIGHT TO EX. CEILING
MATCH ORIGINAL HISTORIC PLASTER CEILING

10 THIRD FLOOR REFLECTED CEILING PLAN
SCALE: 1/8"=1'-0"



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2	4.12.16	JFA

DATE 3/30/16

SCALE 1/8"=1'-0"

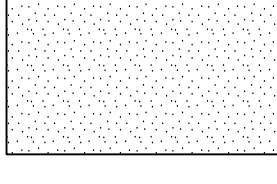

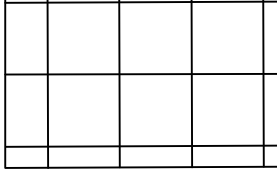
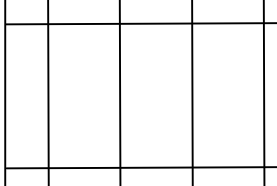
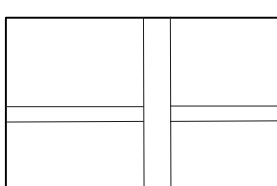
DRAWN

PROJ. --

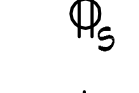
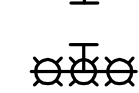
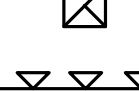
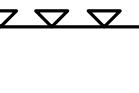
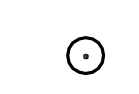
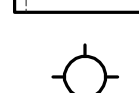








TITLE 4TH FLOOR REFLECTED CEILING PLAN

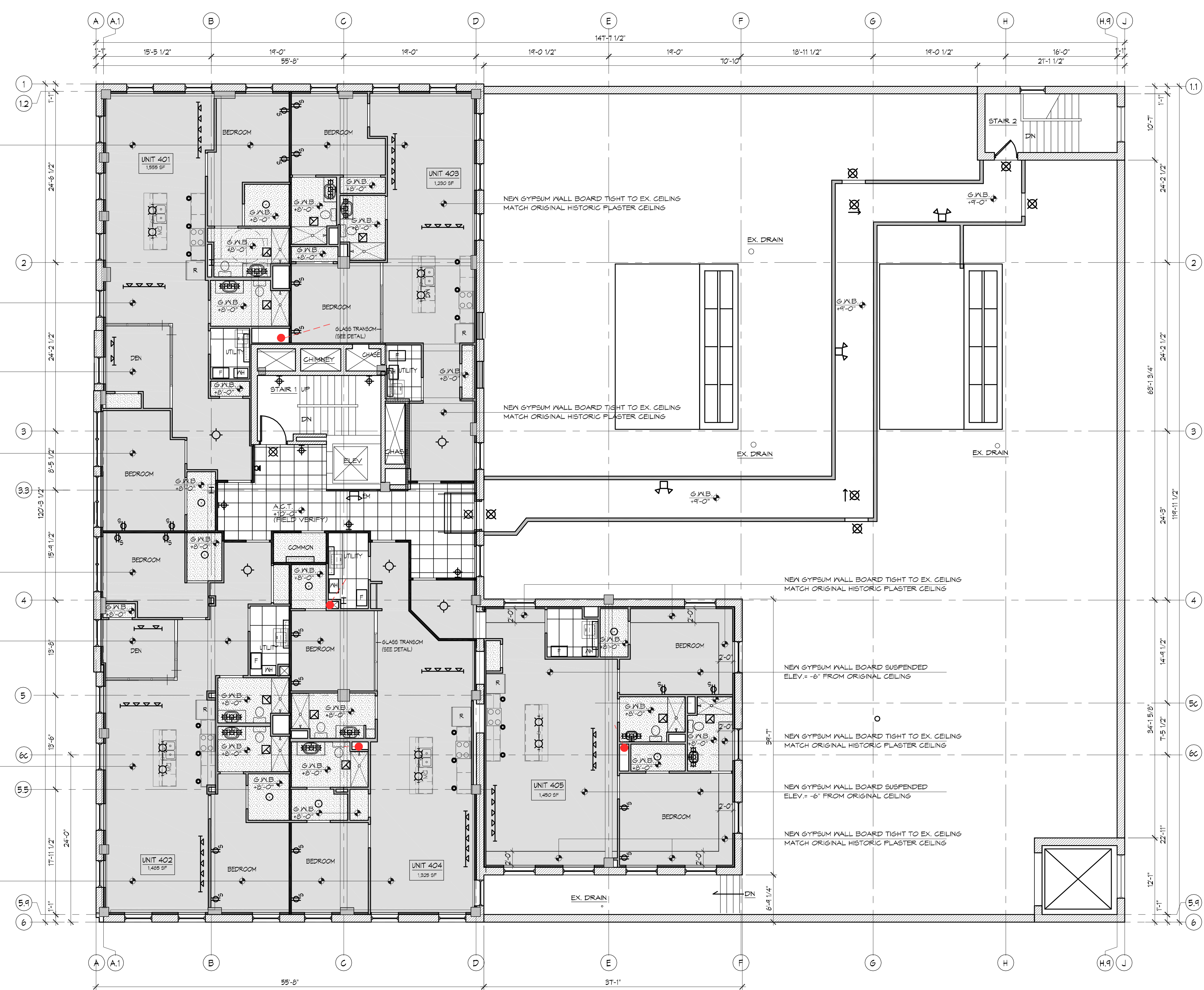
A-114

CEILING LEGEND

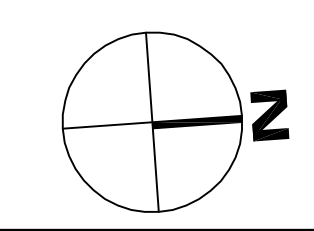
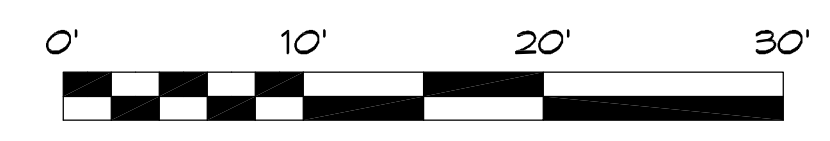
-  **GYPSUM WALL BOARD CEILING**
1 LAYER 5/8" GYPSUM BOARD
MOISTURE RESISTANT G.A.B. @ MET AREAS (TYP.)
ATTACH NEW GYPSUM BOARD SUSPENSION SYSTEM
OR LIGHT GAUGE FRAMING. PREP, PRIME & PAINT PER OWNER
-  **ORIGINAL PLASTER CEILING**
1 LAYER 1/2" GYPSUM WALL BOARD SECURED
TO ORIGINAL PLASTER CEILING, OR SUSPENDED
TIGHT TO ORIGINAL CEILING
PREP, PRIME & PAINT PER OWNER
-  **ACOUSTIC CEILING SYSTEM**
LOW PROFILE WHITE T-GRID
2'x2' ACOUSTIC CEILING TILES
-  **ACOUSTIC CEILING SYSTEM**
LOW PROFILE WHITE T-GRID
2'x4' ACOUSTIC CEILING TILES
-  **EXISTING STRUCTURE / DECK**
PATCH EXISTING VOIDS IN CONCRETE
PREP, PRIME & PAINT PER OWNER

LIGHTING LEGEND

-  SWITCHED OUTLET, STAGGER BACK TO BACK OUTLETS MIN. ONE STUD CAVITY
-  WALL SCONCE (ADA HEIGHT)
-  VANITY LIGHT, CENTER ON VANITY AS DIRECTED BY OWNER
-  EXHAUST FAN / LIGHT COMBO, VENT TO EXTERIOR (ROOF)
-  8' TRACK IV 5 LED HEADS
-  6' TRACK IV 4 LED HEADS
-  4' TRACK IV 2 LED HEADS
-  SURFACE MOUNT LED DOWNLIGHT
-  4' LED STRIP LIGHT
-  PENDANT LIGHT UP/DOWN
-  6" LED CAN LIGHT
-  PENDANTS OVER KITCHEN ISLAND
-  EMERGENCY EXIT SIGN
-  EMERGENCY EXIT LIGHT



10 FOURTH FLOOR REFLECTED CEILING PLAN
SCALE: 1/8"=1'-0"



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RENOVATIONS TO:
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REVISIONS

NO.	DATE	BY

DATE 7/29/15

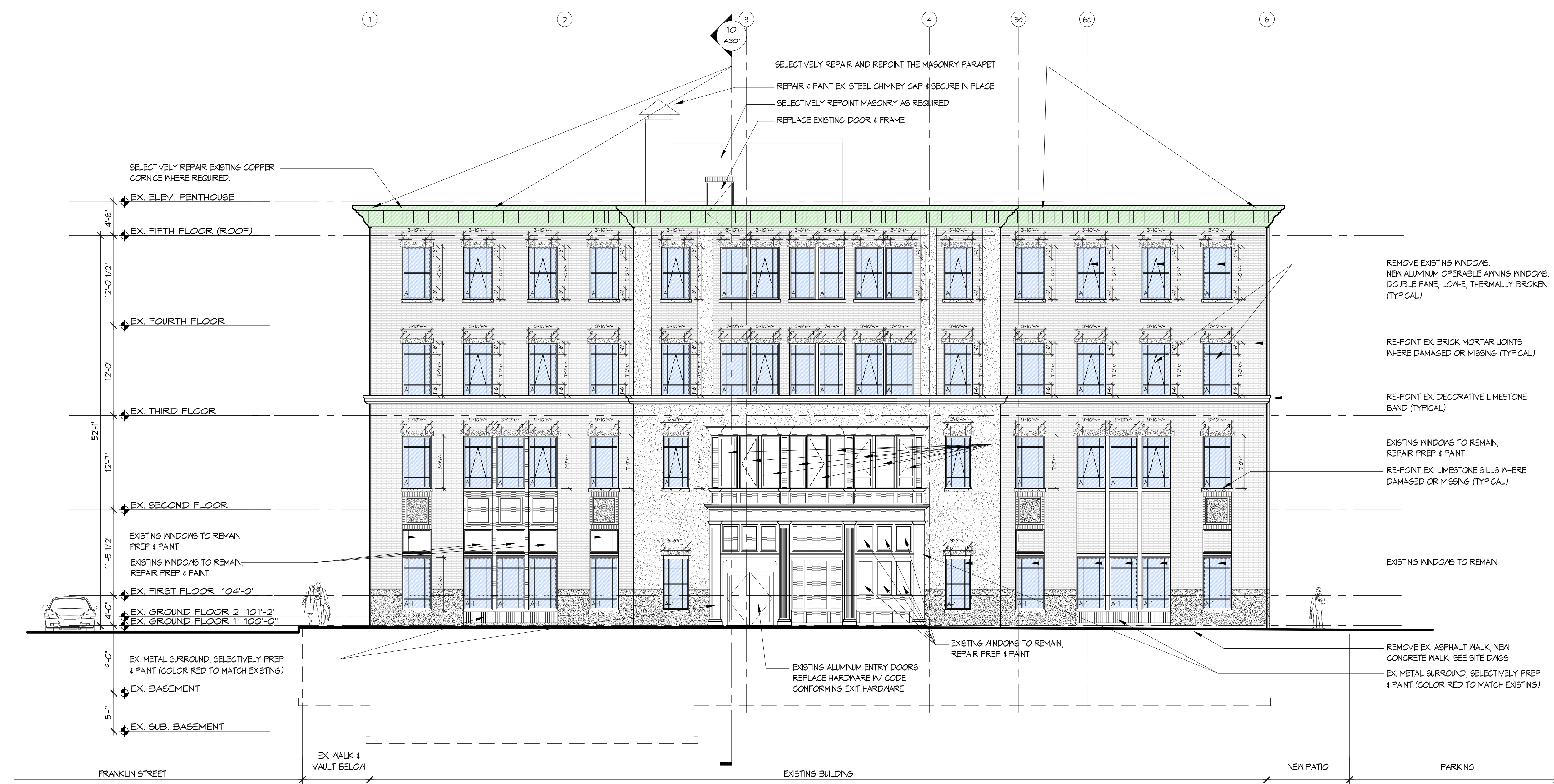
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DRAWN --

PROJ. --

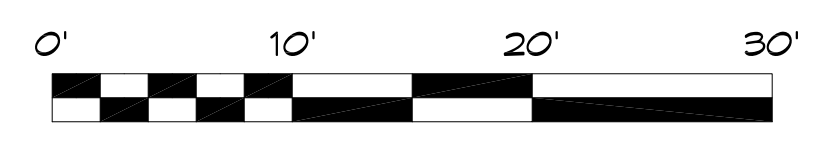
TITLE SOUTH BUILDING ELEVATION

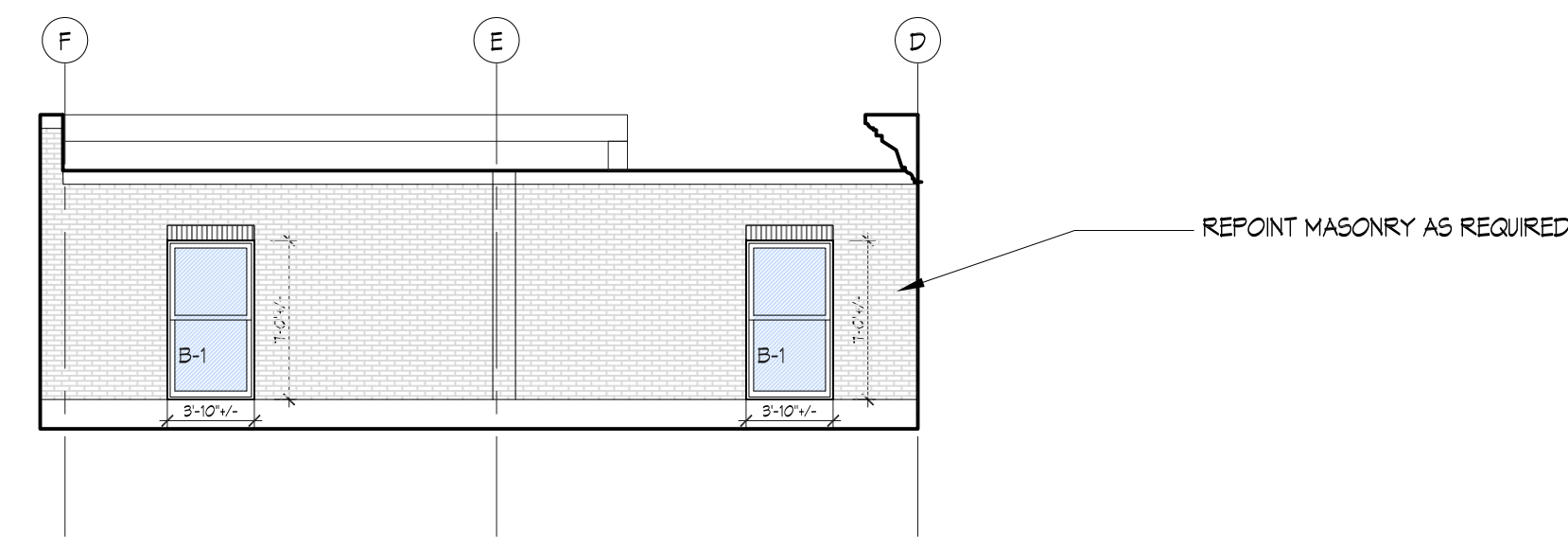
A-201



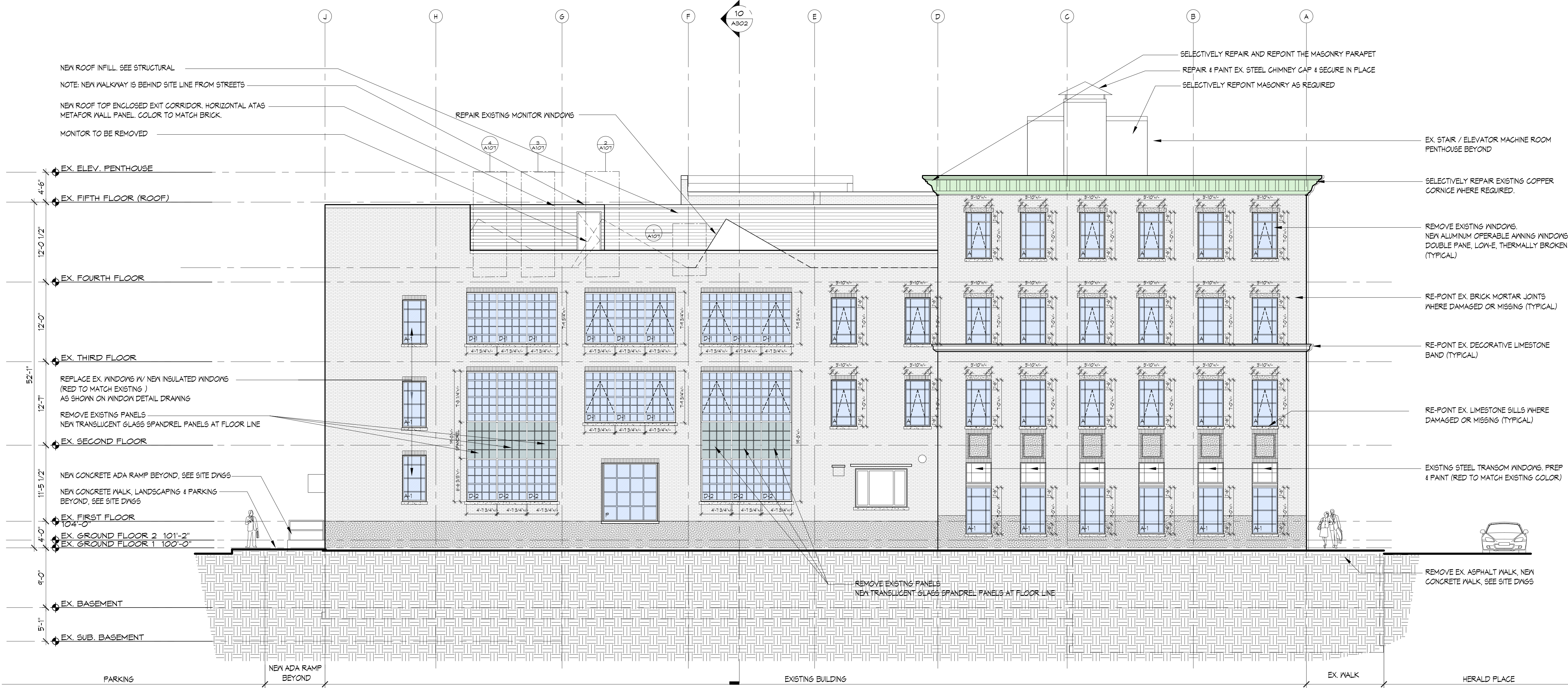
** NOTE: ALL NEW AND EXISTING TO MATCH EXISTING COLOR **

10 BUILDING ELEVATION SOUTH - HERALD PLACE
 SCALE: 1/8"=1'-0"





12 BUILDING ELEVATION WEST - ROOF
SCALE: 1/8"=1'-0"



** NOTE: ALL NEW AND EXISTING TO MATCH EXISTING COLOR **

10 BUILDING ELEVATION WEST - FRANKLIN STREET
SCALE: 1/8"=1'-0"

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RENOVATIONS TO:
HERALD COMMONS
220 HERALD PLACE
SYRACUSE, NEW YORK

REVISIONS

NO.	DATE	BY

DATE 7/29/15

SCALE 1/8"=1'-0"

DRAWN

PROJ. --

TITLE

WEST BUILDING ELEVATION

A-202

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220 HERALD PLACE
SYRACUSE, NEW YORK

REVISIONS

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DATE 10/30/15

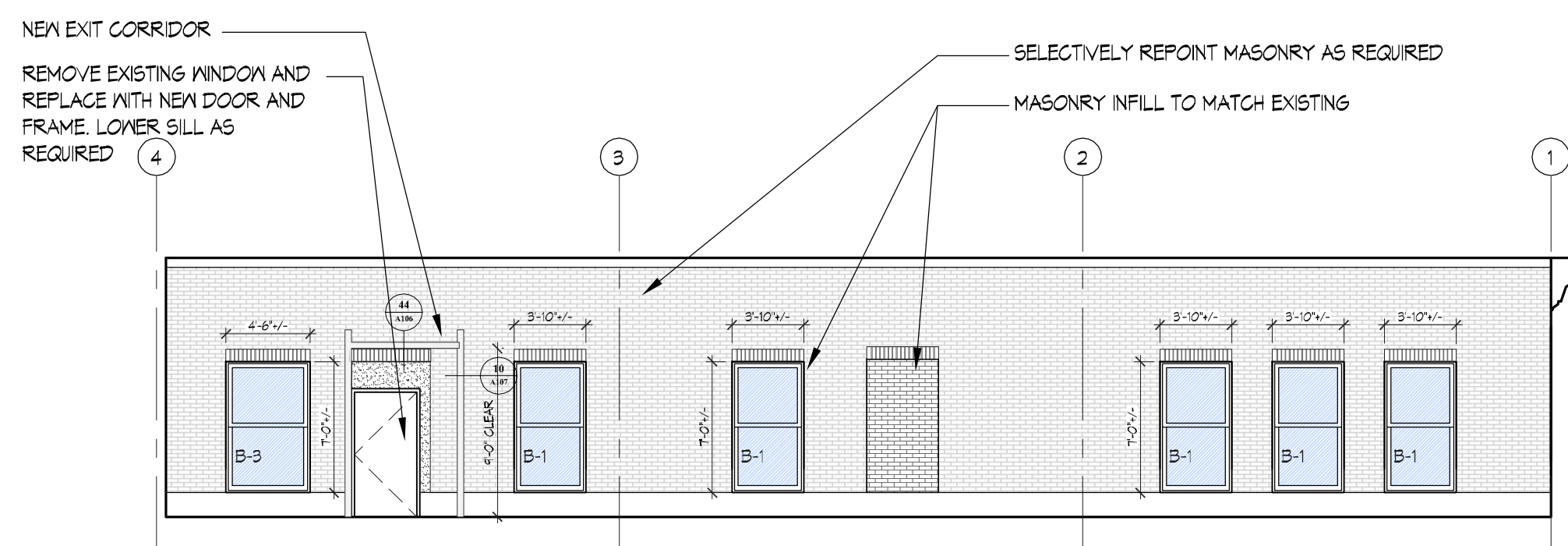
SCALE 1/8"=1'-0"

DRAWN

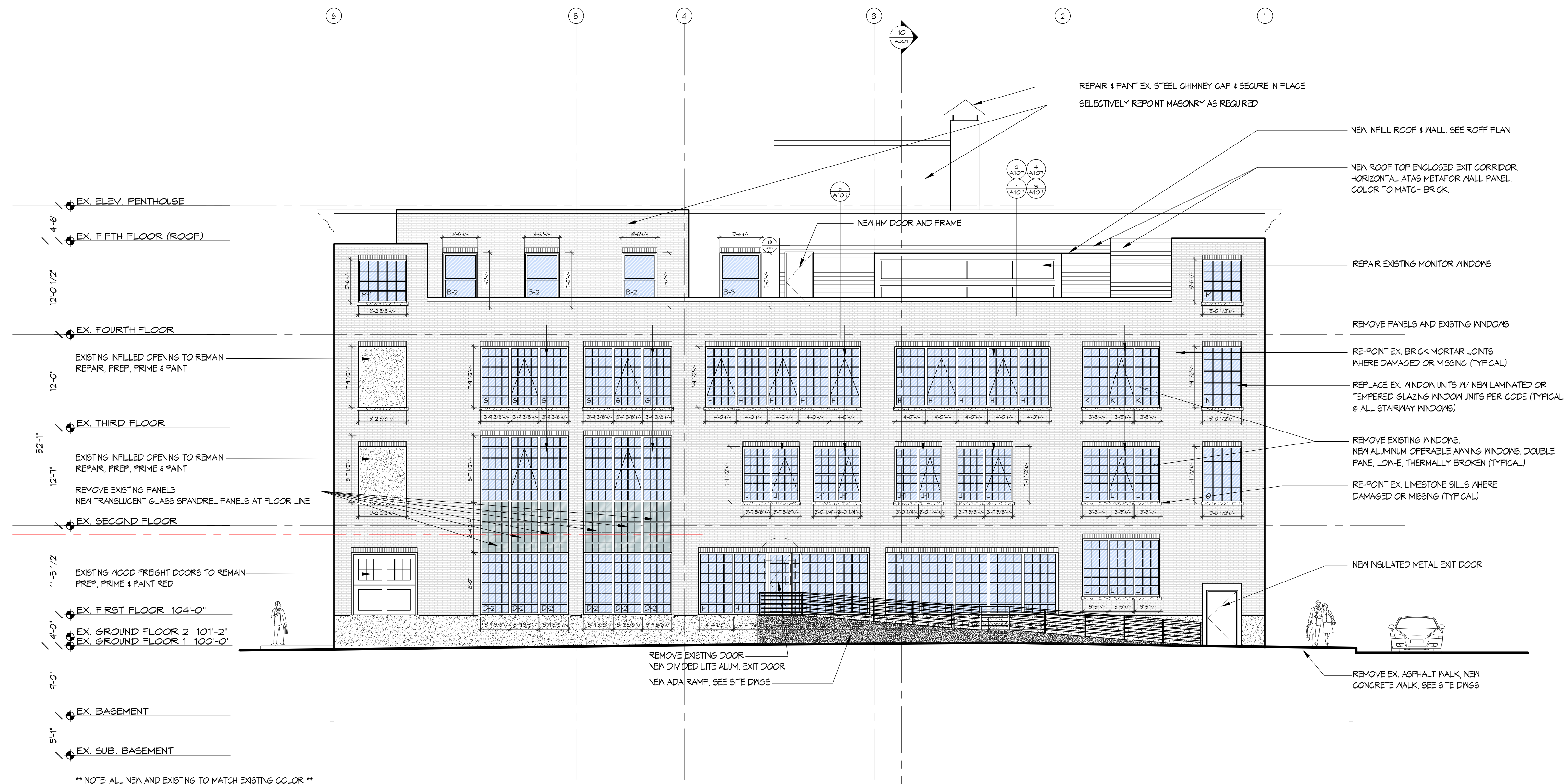
PROJ. --

TITLE NORTH BUILDING ELEVATION

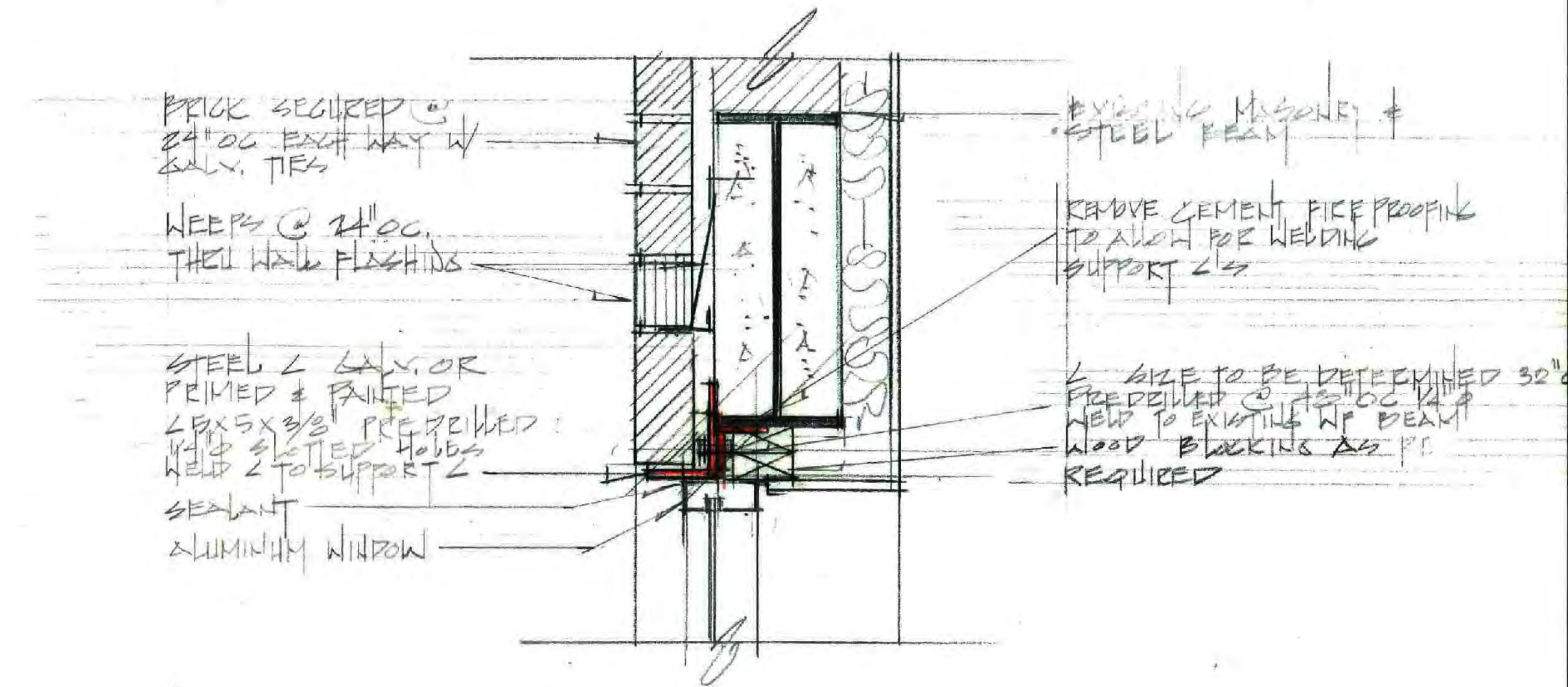
A-203



12 BUILDING ELEVATION NORTH -ROOF
SCALE: 1/8"=1'-0"

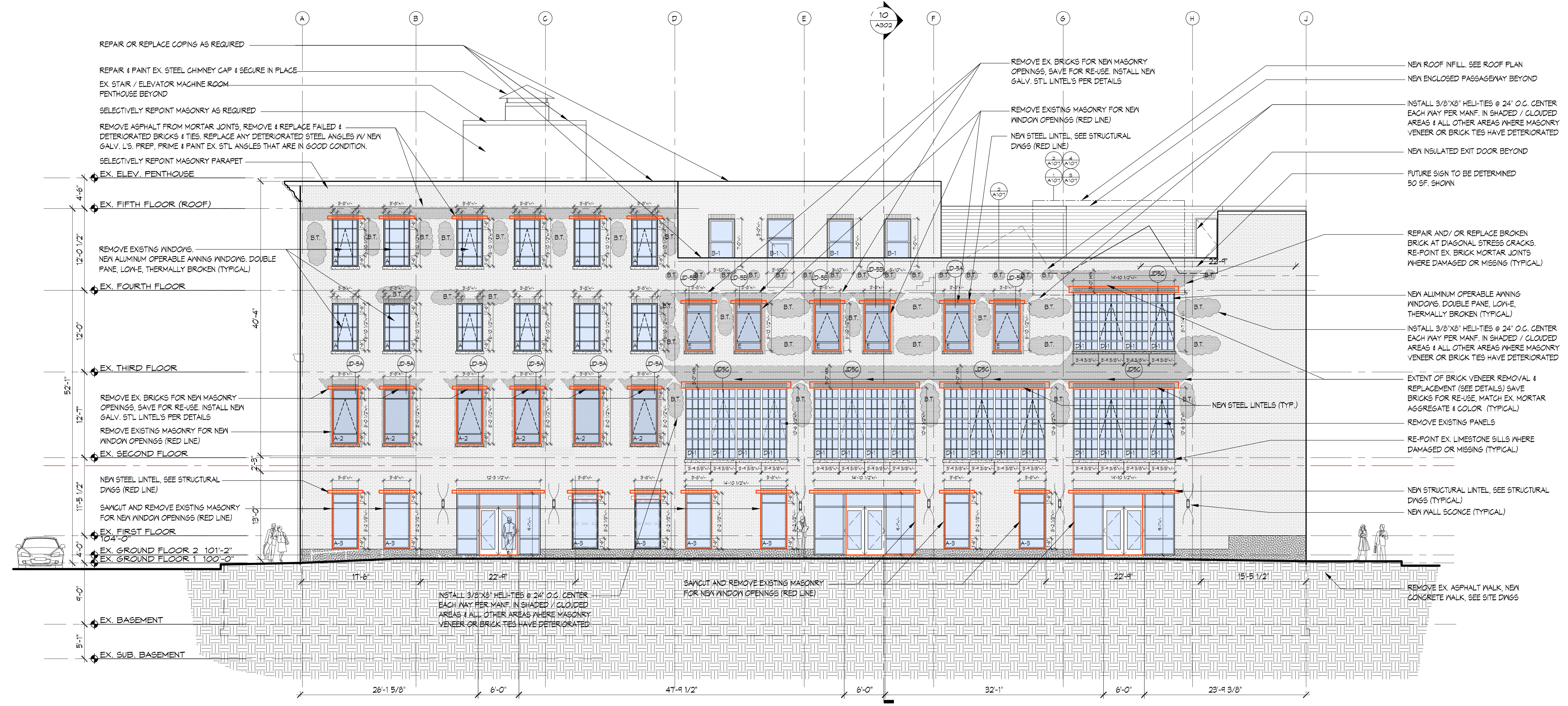


10 BUILDING ELEVATION NORTH - 690
SCALE: 1/8"=1'-0"



JD5C EAST WALL LINTEL & MASONRY REPLACEMENT
SCALE: 1/2"=1'-0"

NOTE: PREP, PRIME & PAINT ALL EXISTING & NEW STEEL LINTELS
B.T. AREAS TO RECEIVE NEW BRICK HELI-TIES. NEW MORTAR TO MATCH EXISTING



** NOTE: ALL NEW AND EXISTING TO MATCH EXISTING COLOR **

10 BUILDING ELEVATION EAST - CLINTON STREET
SCALE: 1/8"=1'-0"



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DATE 10/30/15

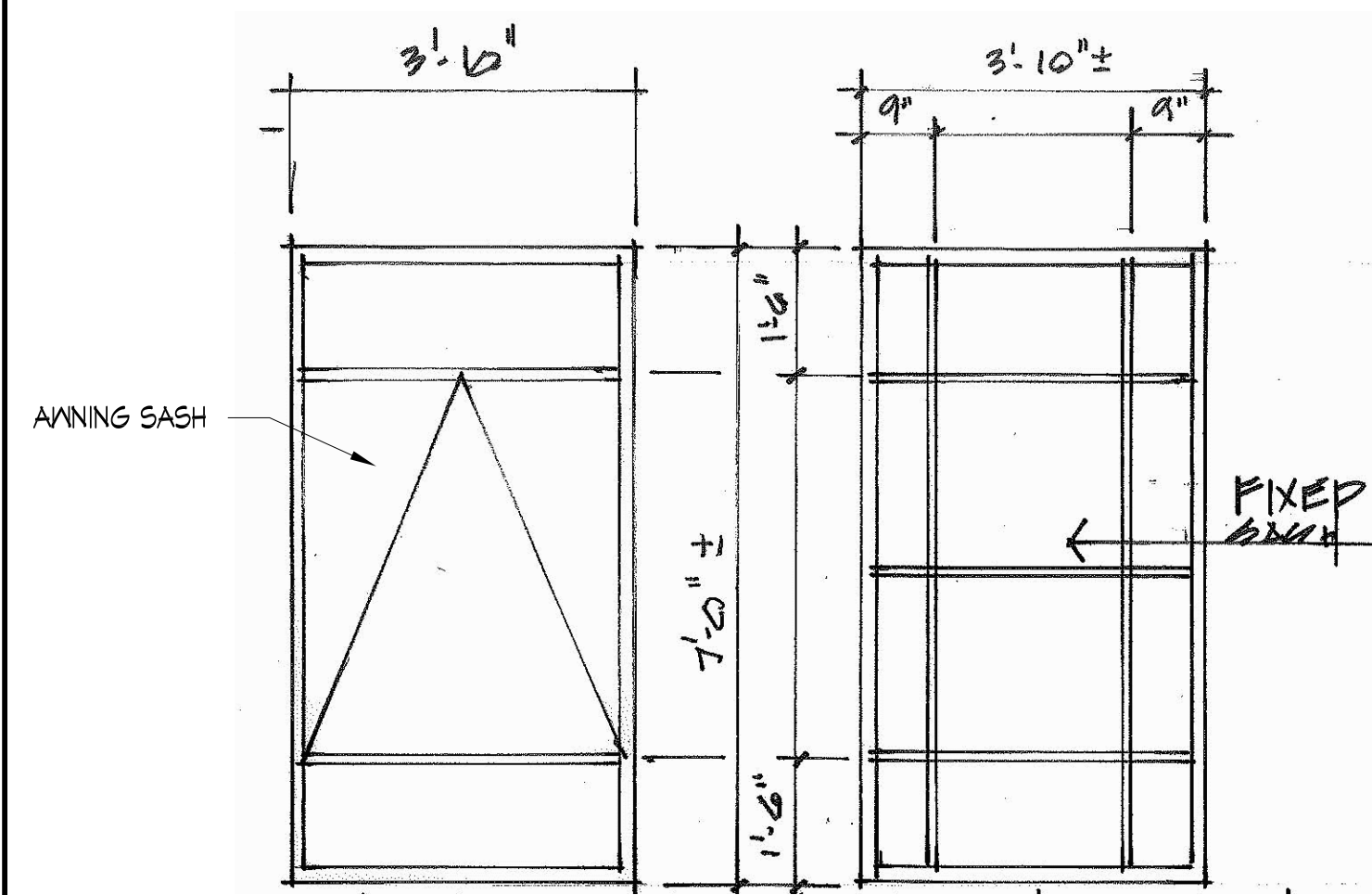
SCALE 1/8"=1'-0"

DRAWN

PROJ. --

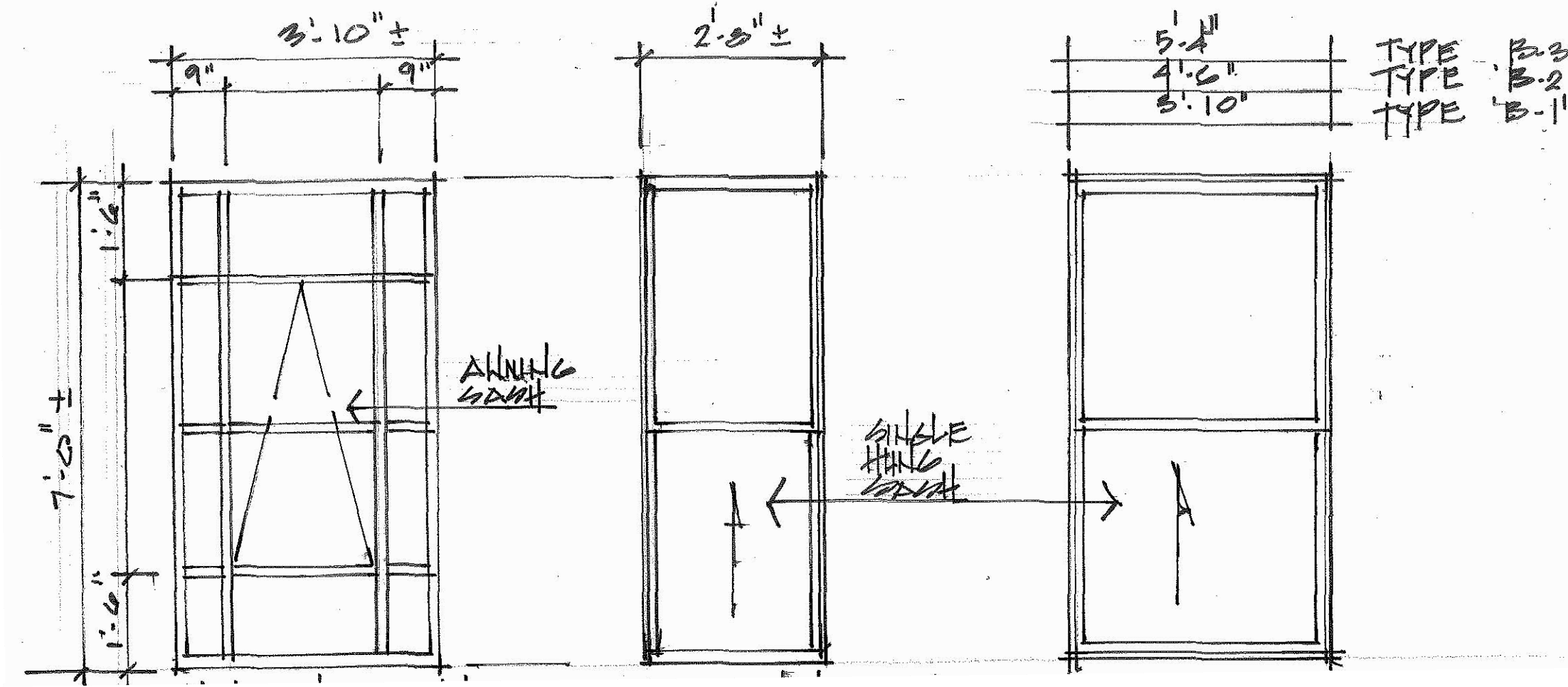
TITLE EAST BUILDING ELEVATION

A-204



10 WINDOW TYPE 'A-2'
SCALE: 1/2"=1'-0"

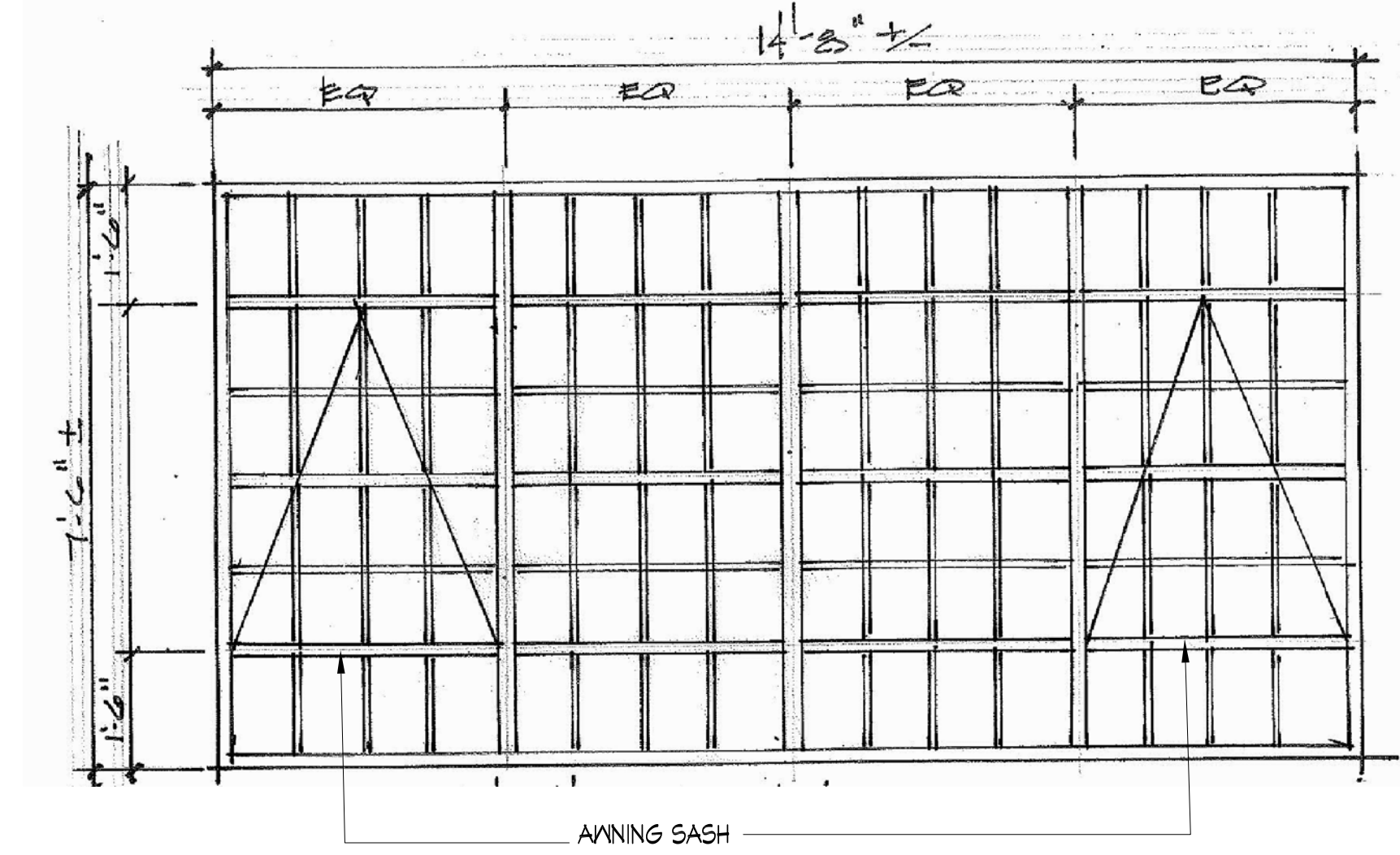
11 WINDOW TYPE 'A-1'
SCALE: 1/2"=1'-0"



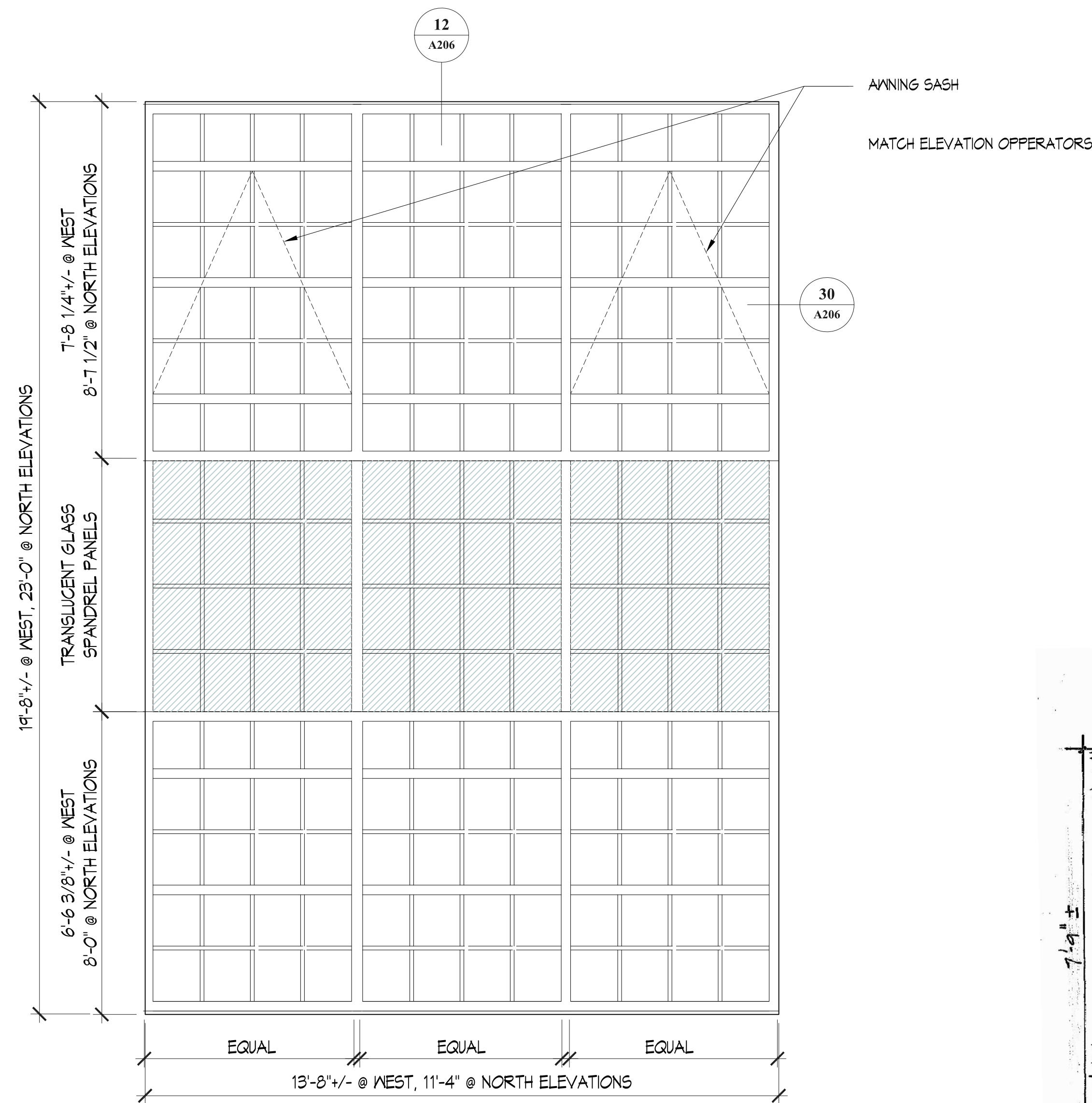
12 WINDOW TYPE 'A'
SCALE: 1/2"=1'-0"

13 WINDOW TYPE 'B'
SCALE: 1/2"=1'-0"

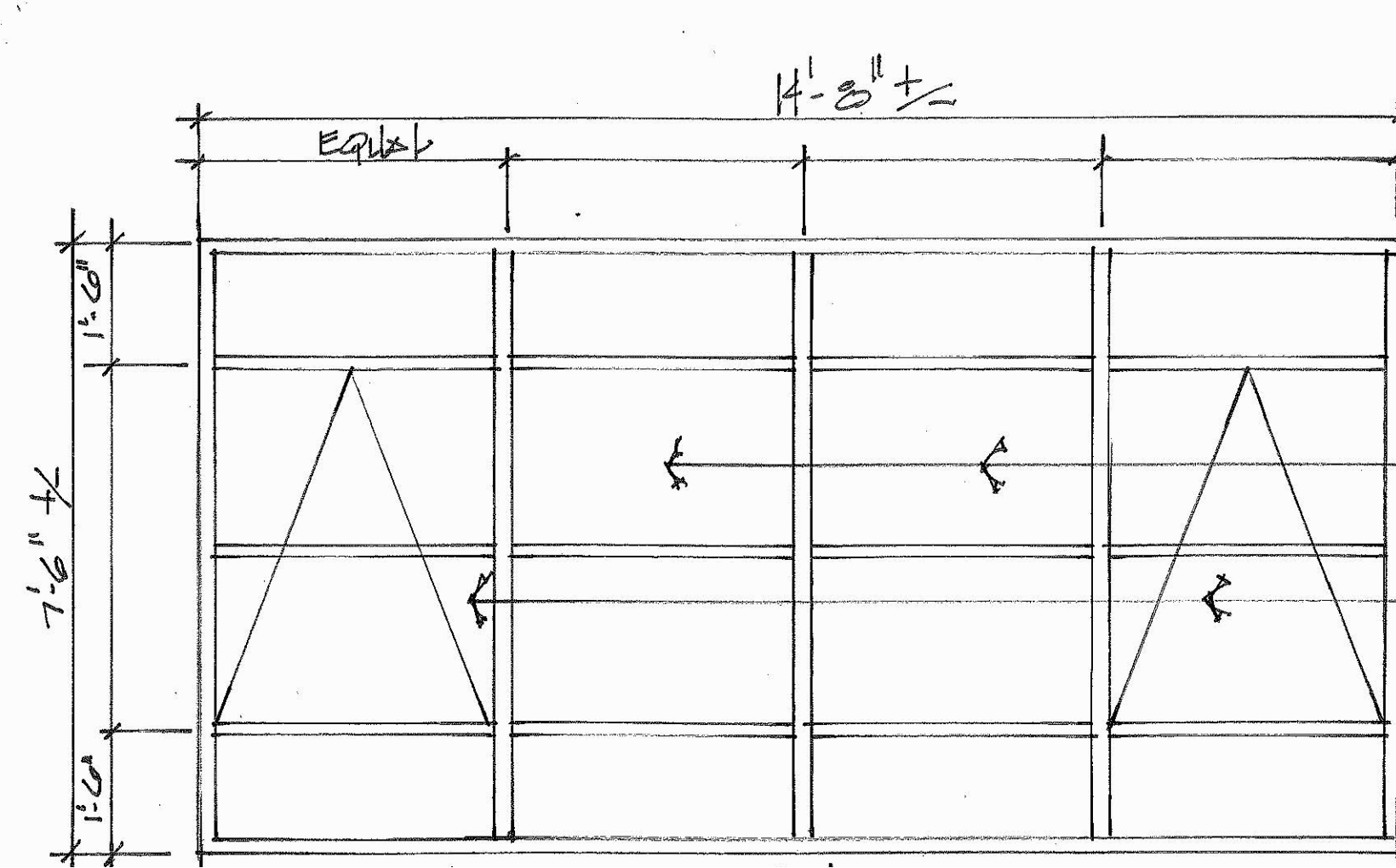
14 WINDOW TYPE 'B-1' 'B-2' 'B-3'
SCALE: 1/2"=1'-0"



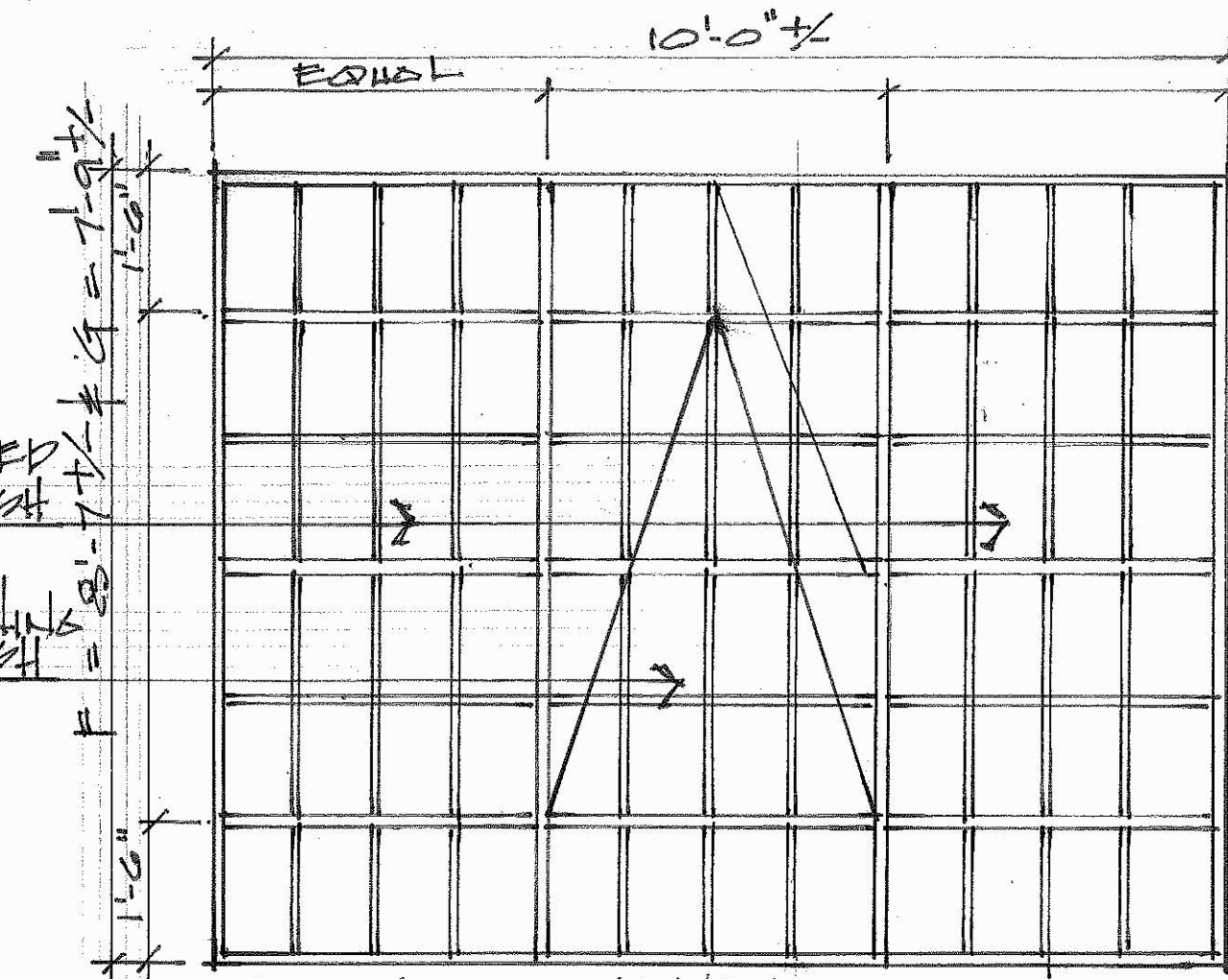
15 WINDOW TYPE 'D-1'
SCALE: 1/2"=1'-0"



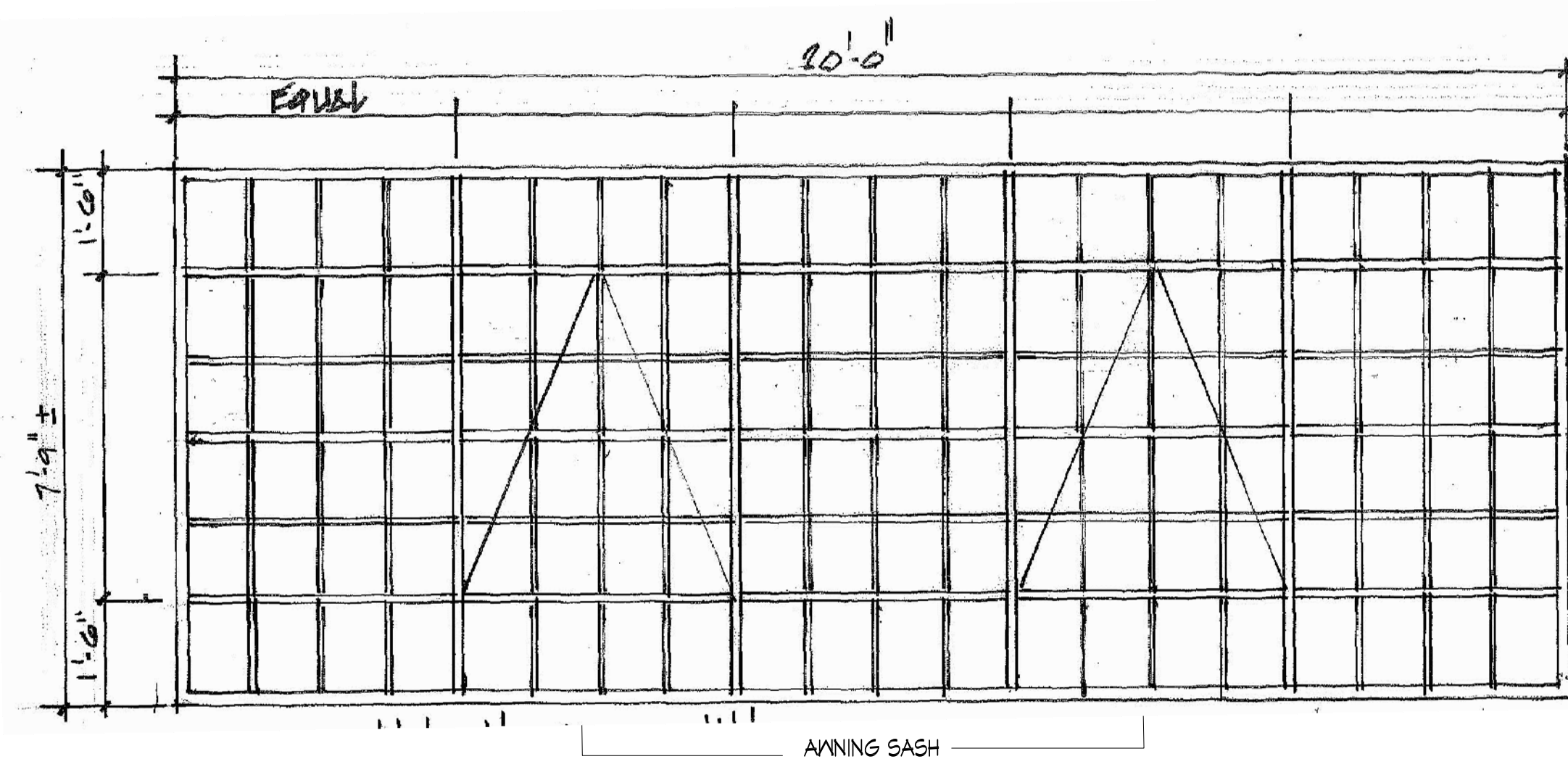
30 WINDOW TYPE 'D-2'
SCALE: 1/2"=1'-0"



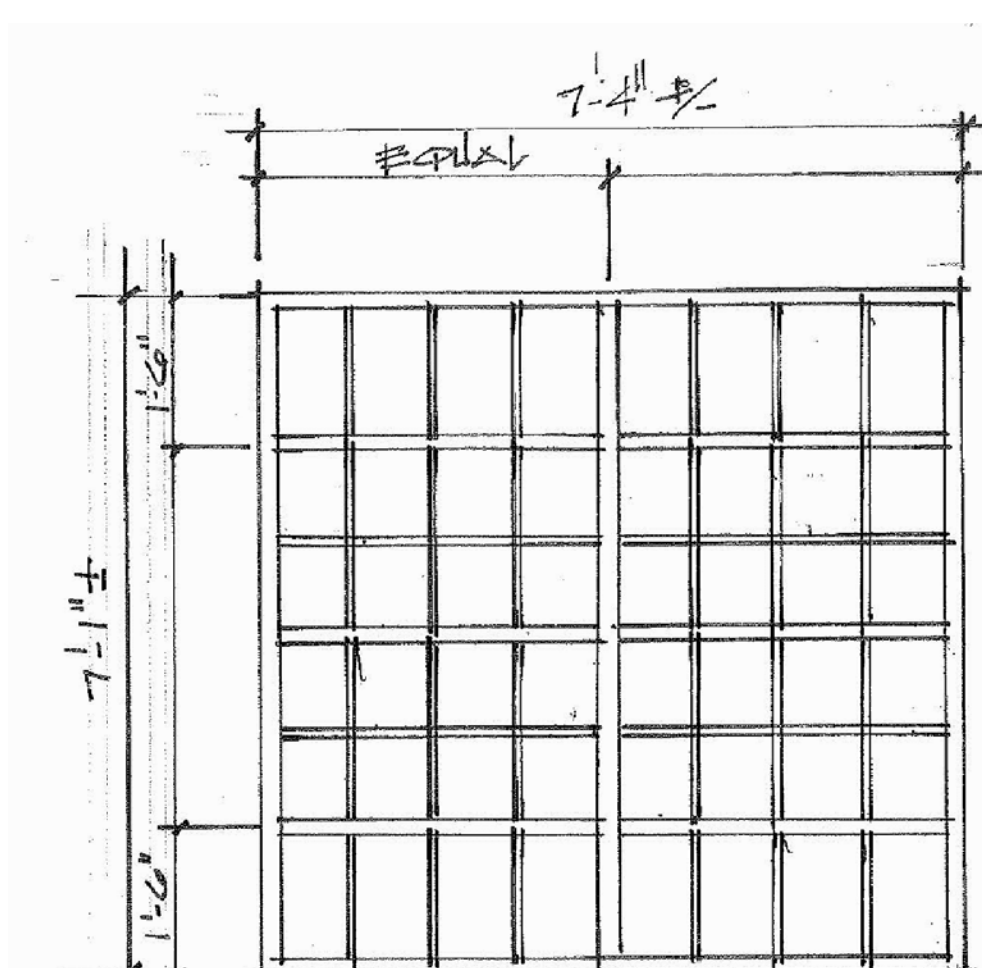
22 WINDOW TYPE 'E'
SCALE: 1/2"=1'-0"



24 WINDOW TYPE 'F' & 'G'
SCALE: 1/2"=1'-0"



32 WINDOW TYPE 'H'
SCALE: 1/2"=1'-0"



34 WINDOW TYPE 'J' & 'J-1'
SCALE: 1/2"=1'-0"

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RENOVATIONS TO:
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DATE 7/29/15
SCALE -
DRAWN -
PROJ. -
TITLE

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RENOVATIONS TO:
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REVISIONS

NO.	DATE	BY

DATE 1/25/16

SCALE AS SHOWN

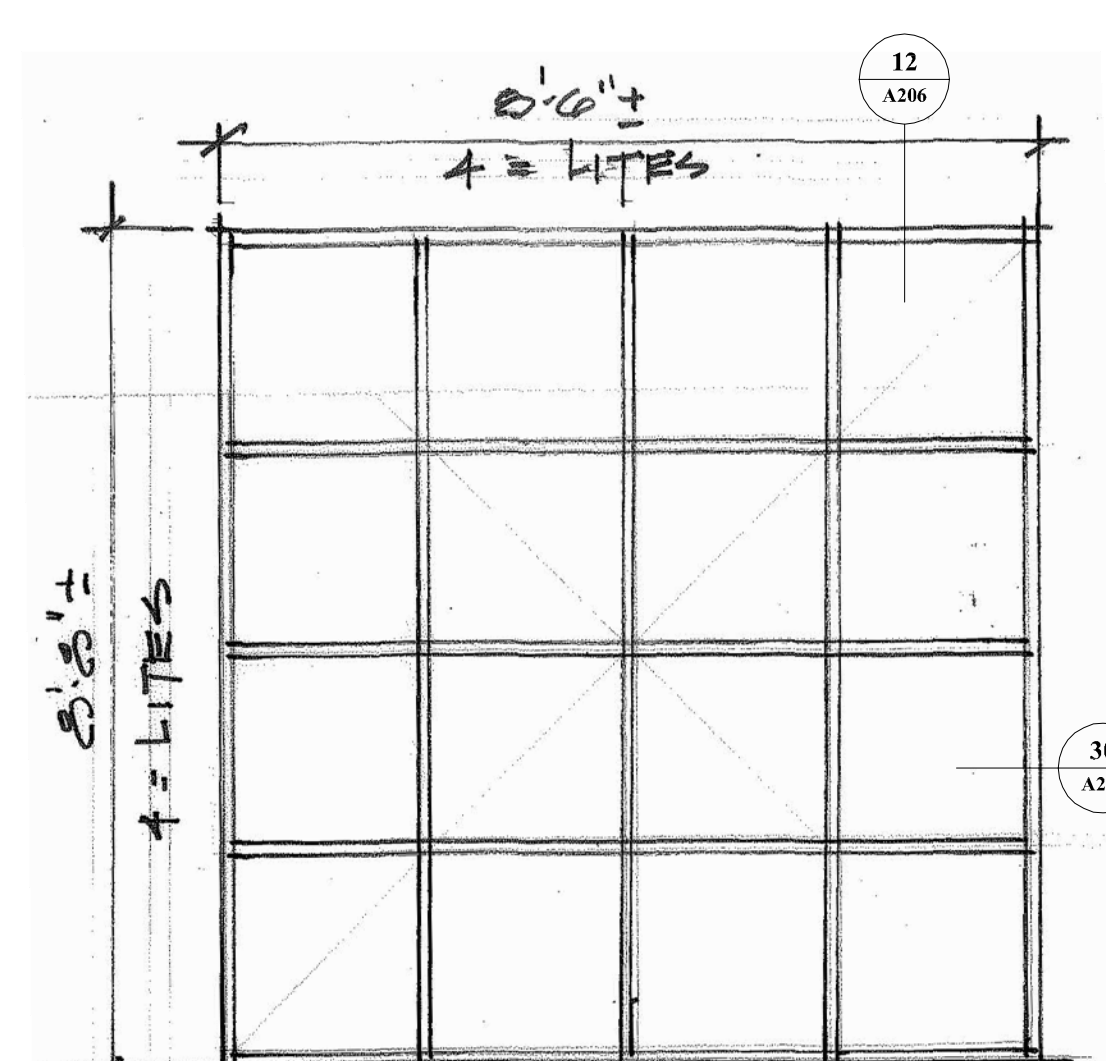
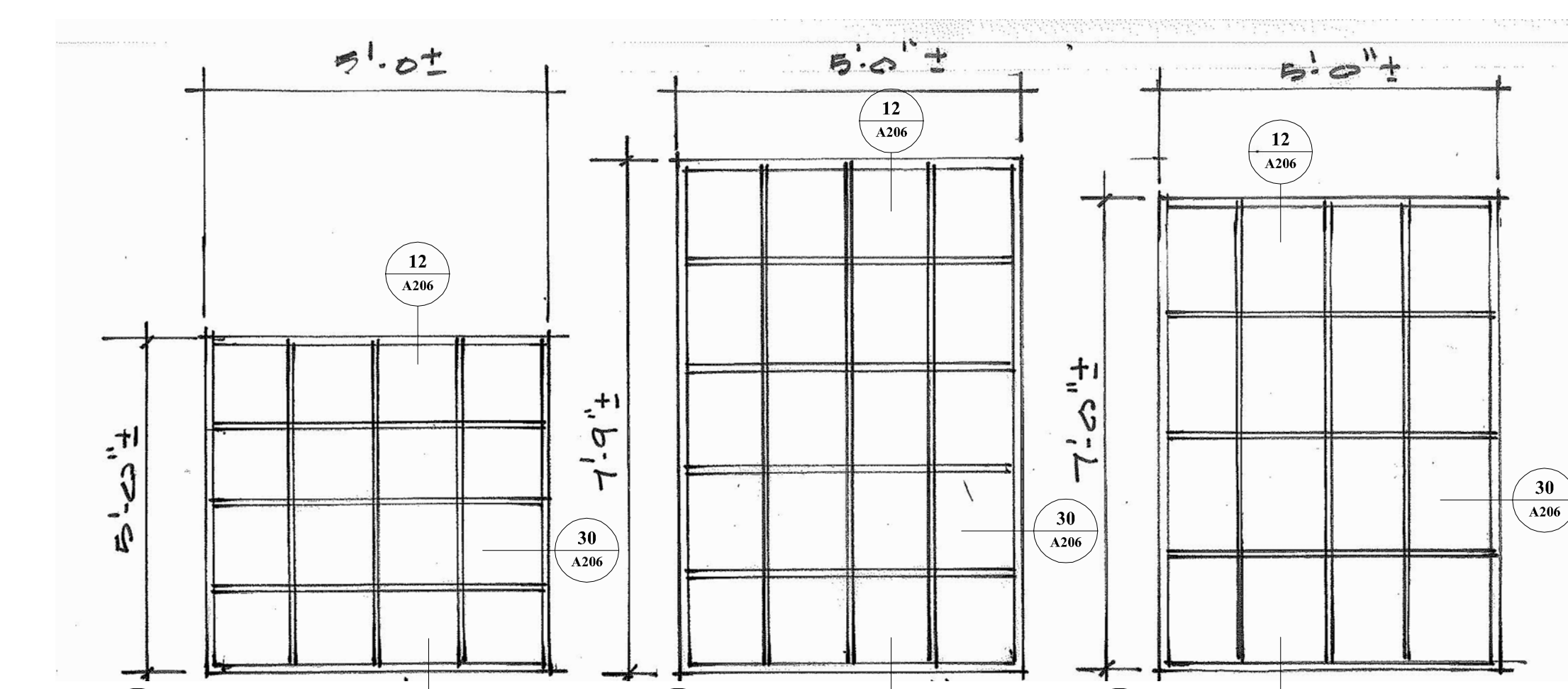
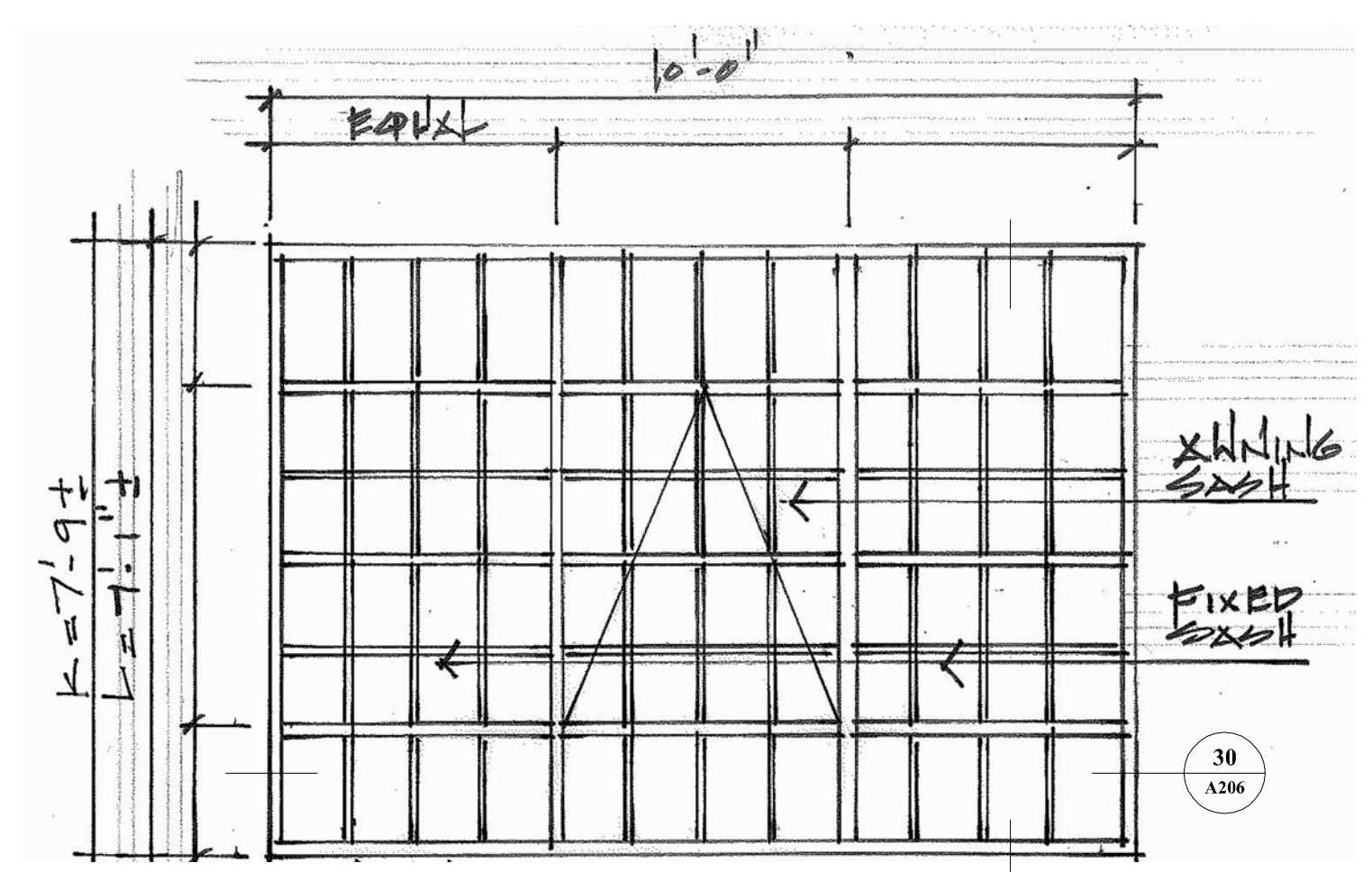
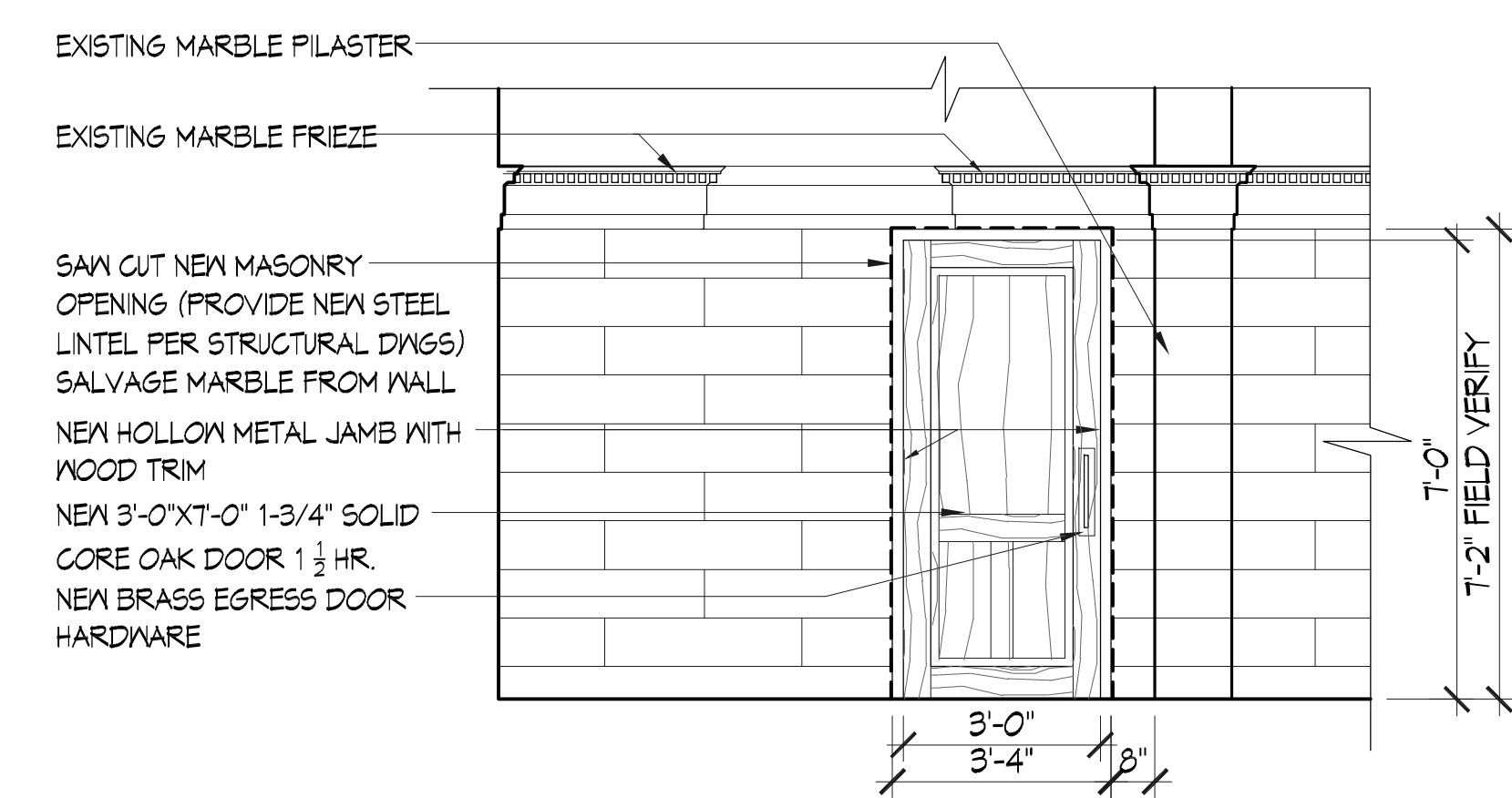
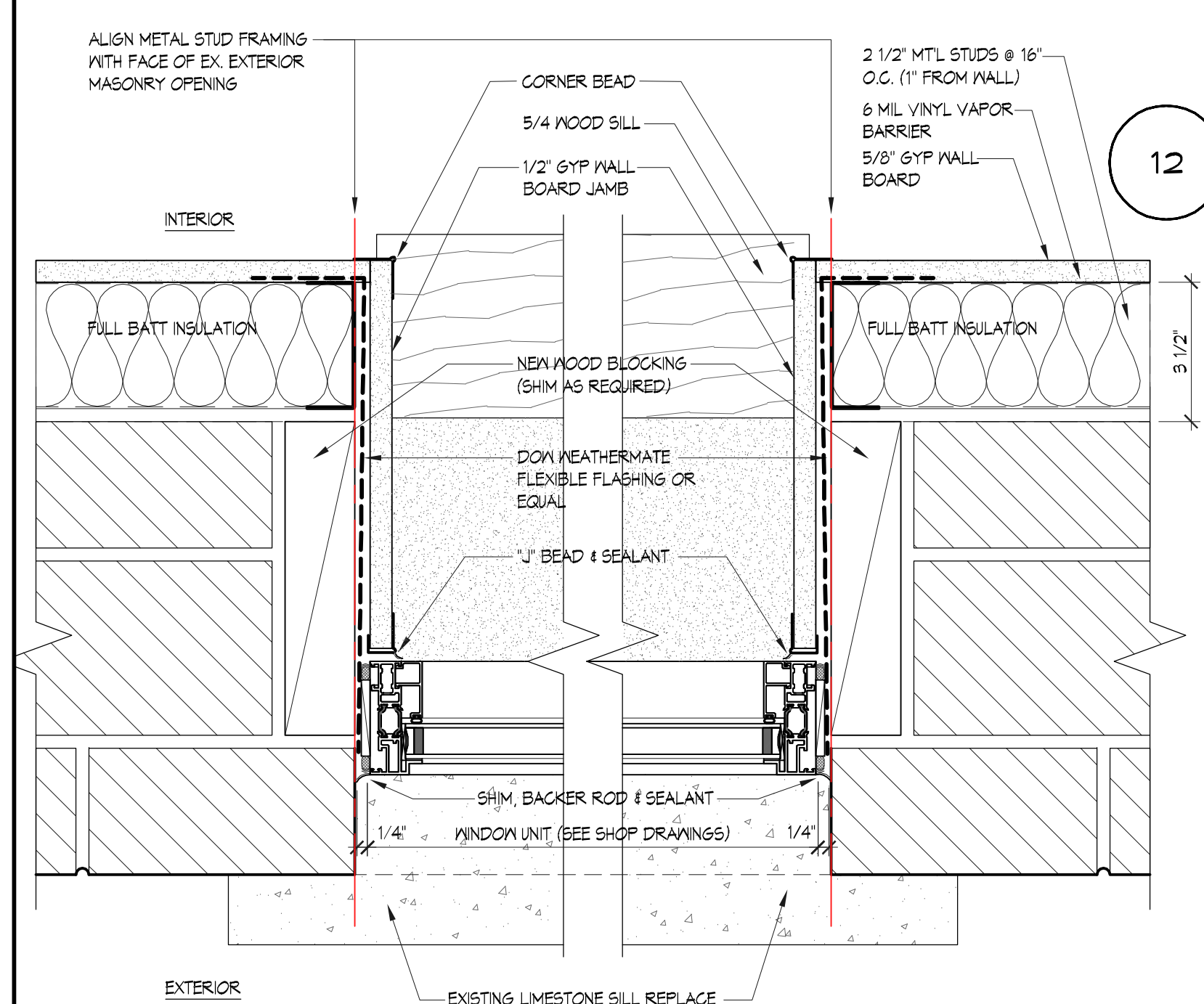
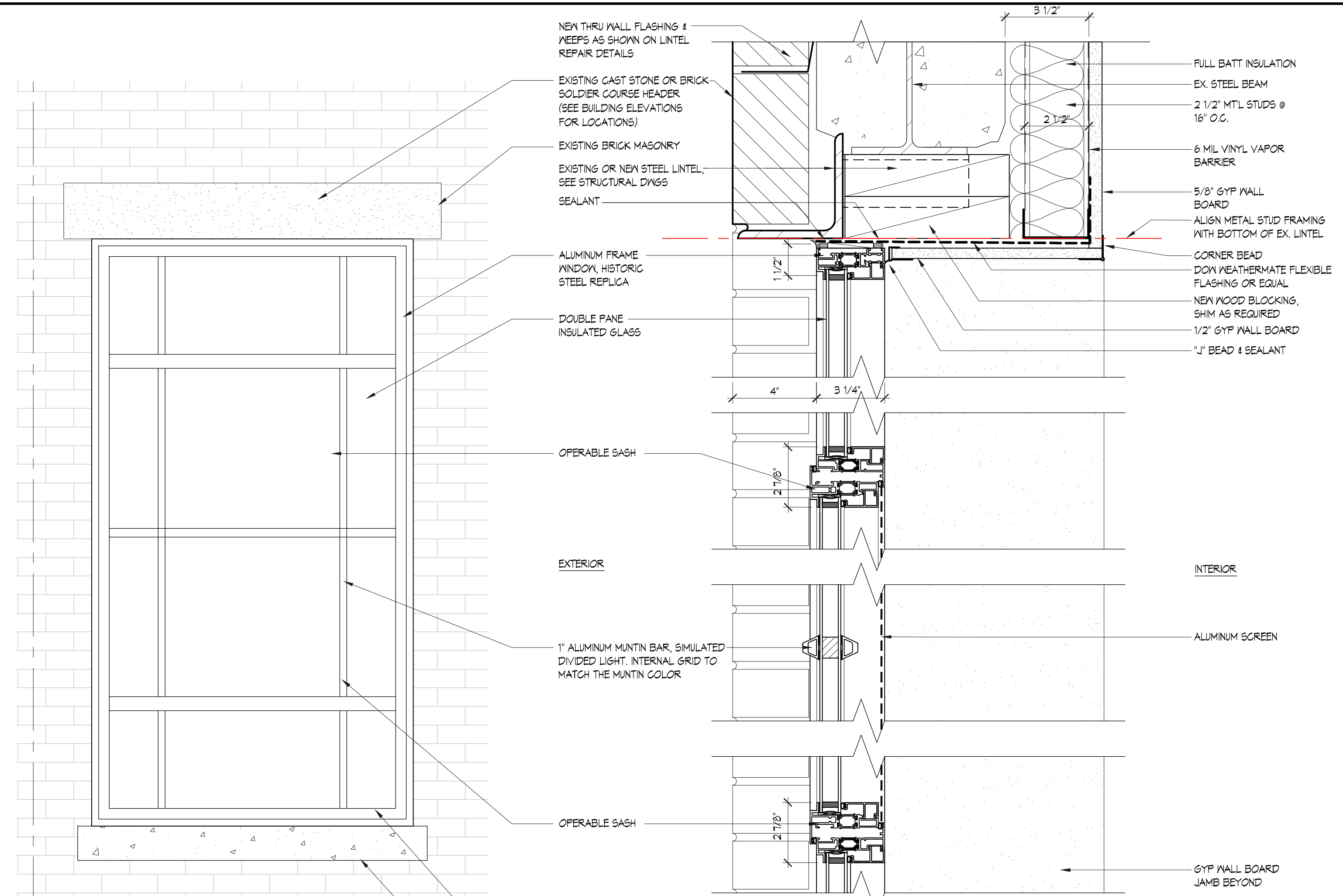
DRAWN

PROJ. --

TITLE

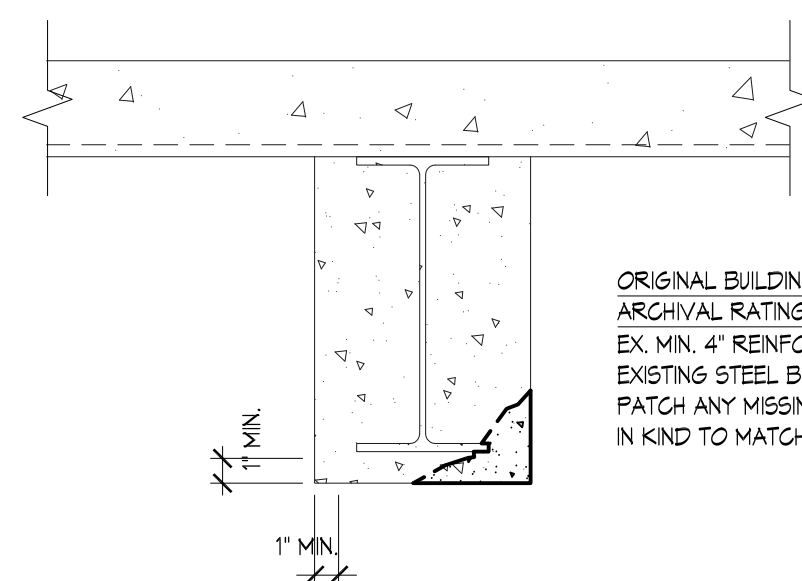
WINDOW DETAILS

A-206



30 TYPICAL METAL WINDOW PLAN DETAIL
SCALE: 3/8"=1'-0"

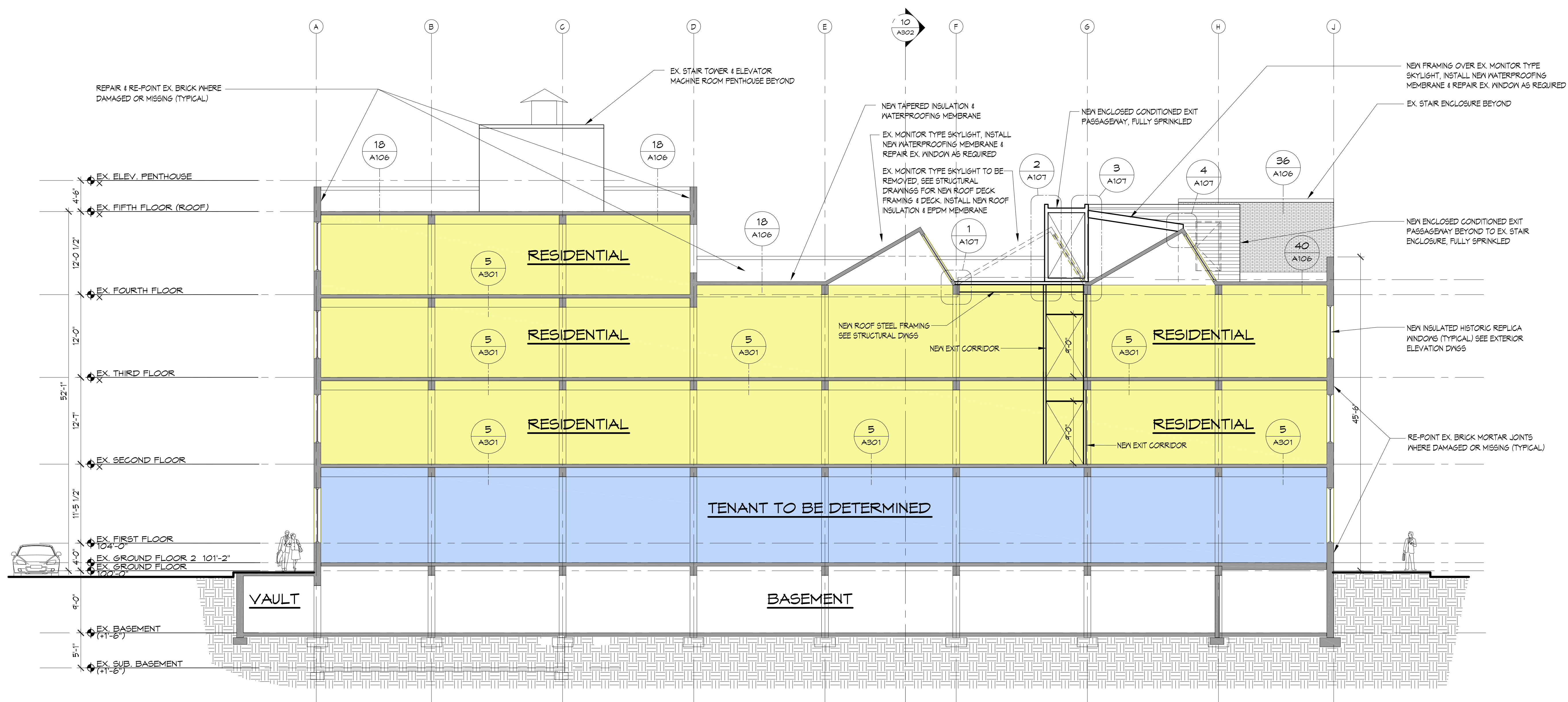
32 NEW LOBBY DOOR ELEVATION
SCALE: 3/8"=1'-0"



ORIGINAL BUILDING FLOOR SYSTEM
ARCHIVAL RATING OF 2 HOURS
EX. MIN. 4" REINFORCED CONCRETE DECK
EXISTING STEEL BEAM ENCASED IN CONCRETE
PATCH ANY MISSING CONCRETE FIREPROOFING
IN KIND TO MATCH EXISTING

GENERAL NOTE:
PENETRATIONS THROUGH RATED WALLS & FLOORS SHALL BE
PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM
INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E 814 OR UL 1479

5 TYPICAL FLOOR / CEILING ASSEMBLY
SCALE: NONE



10 S -- N BUILDING SECTION
SCALE: 1/8"=1'-0"



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SYRACUSE, NEW YORK

REVISIONS

NO.	DATE	BY

DATE 7/29/15

SCALE 1/8"=1'-0"

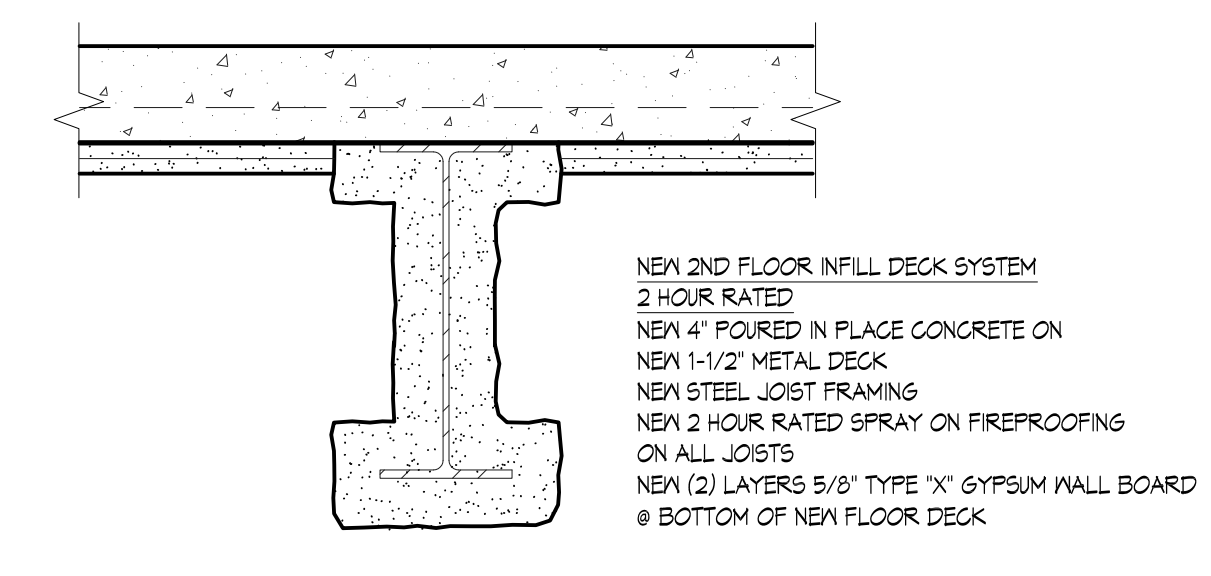
DRAWN

PROJ. --

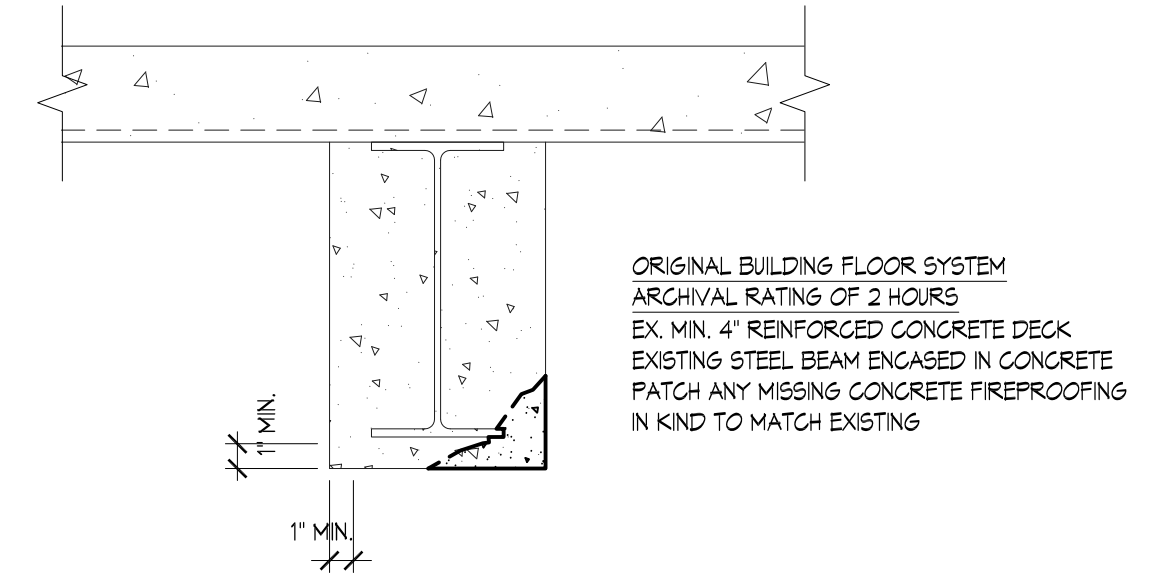
TITLE

BUILDING SECTION

A-301

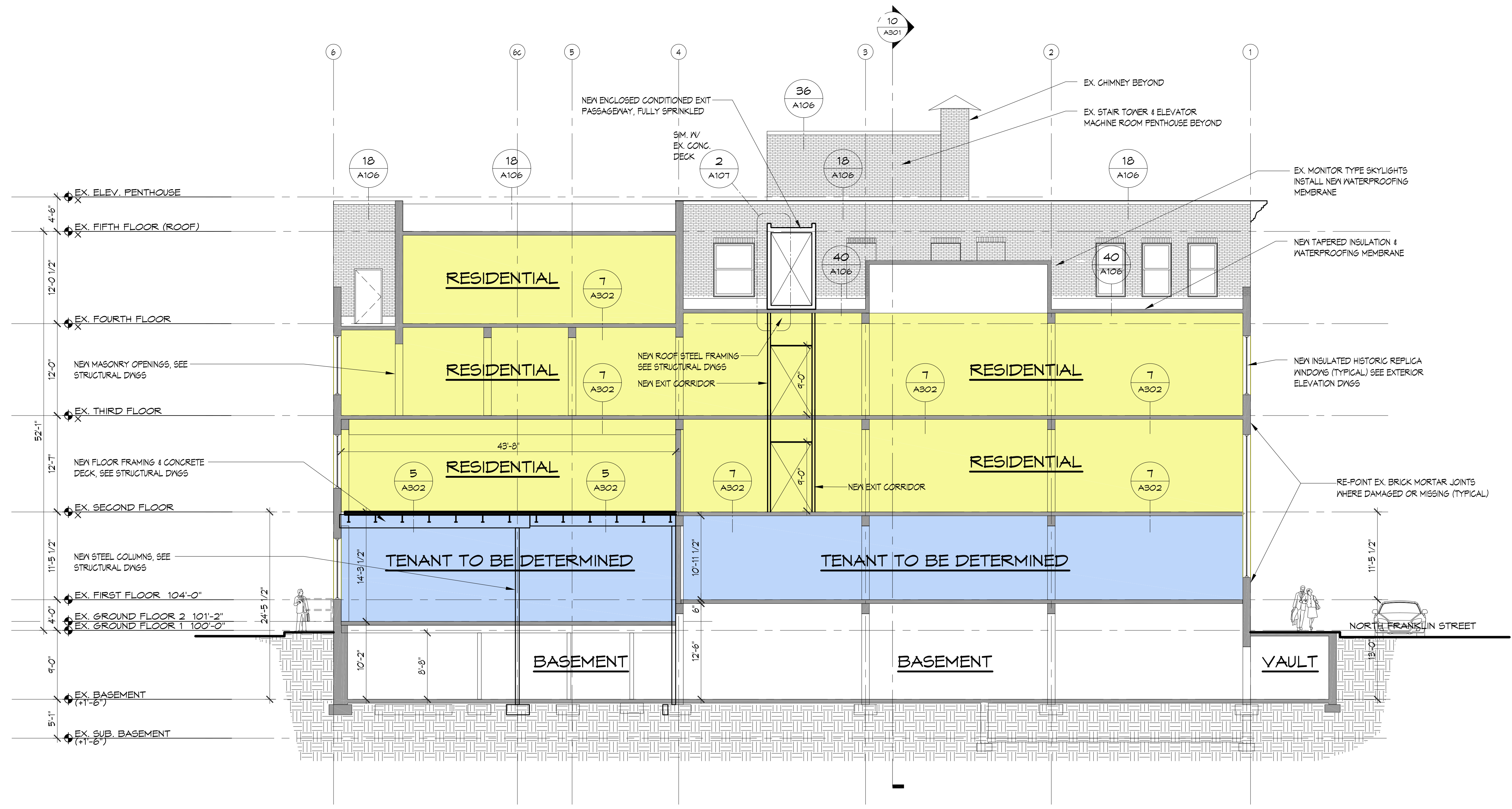


5 TYPICAL FLOOR / CEILING ASSEMBLY
SCALE: NONE

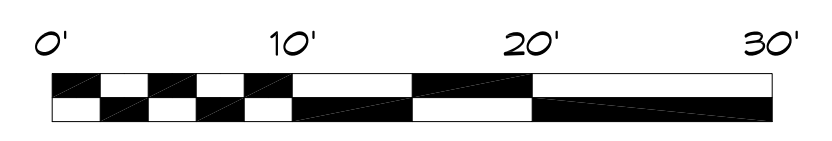


7 TYPICAL FLOOR / CEILING ASSEMBLY
SCALE: NONE

GENERAL NOTE:
PENETRATIONS THROUGH RATED WALLS & FLOORS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E 814 OR UL 1479



10 SOUTH -- NORTH BUILDING SECTION
SCALE: 1/8"=1'-0"



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HERALD COMMONS
220 HERALD PLACE
SYRACUSE, NEW YORK

REVISIONS

NO.	DATE	BY

DATE 7/29/15

SCALE 1/8"=1'-0"

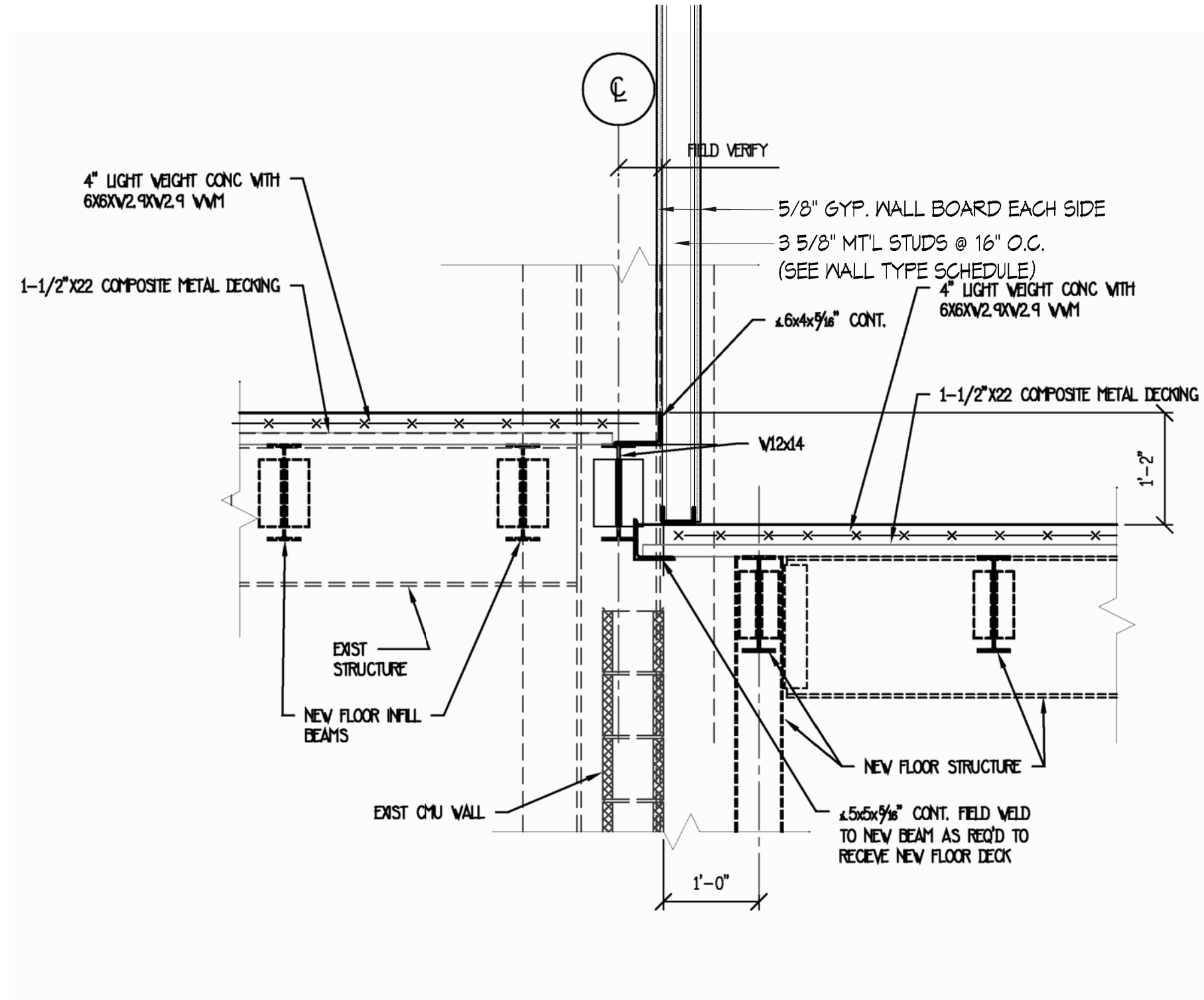
DRAWN

PROJ. --

TITLE

BUILDING SECTION

A-302



1 SECTION AT FLOOR TRANSITION
SCALE: 3/4"=1'-0"

REFERENCE DRAWING JDS-1 & JD-2

220 HERALD PLACE
SYRACUSE, NEW YORK

HERALD COMMONS

p. 315.424.0018
f. 315.472.3756

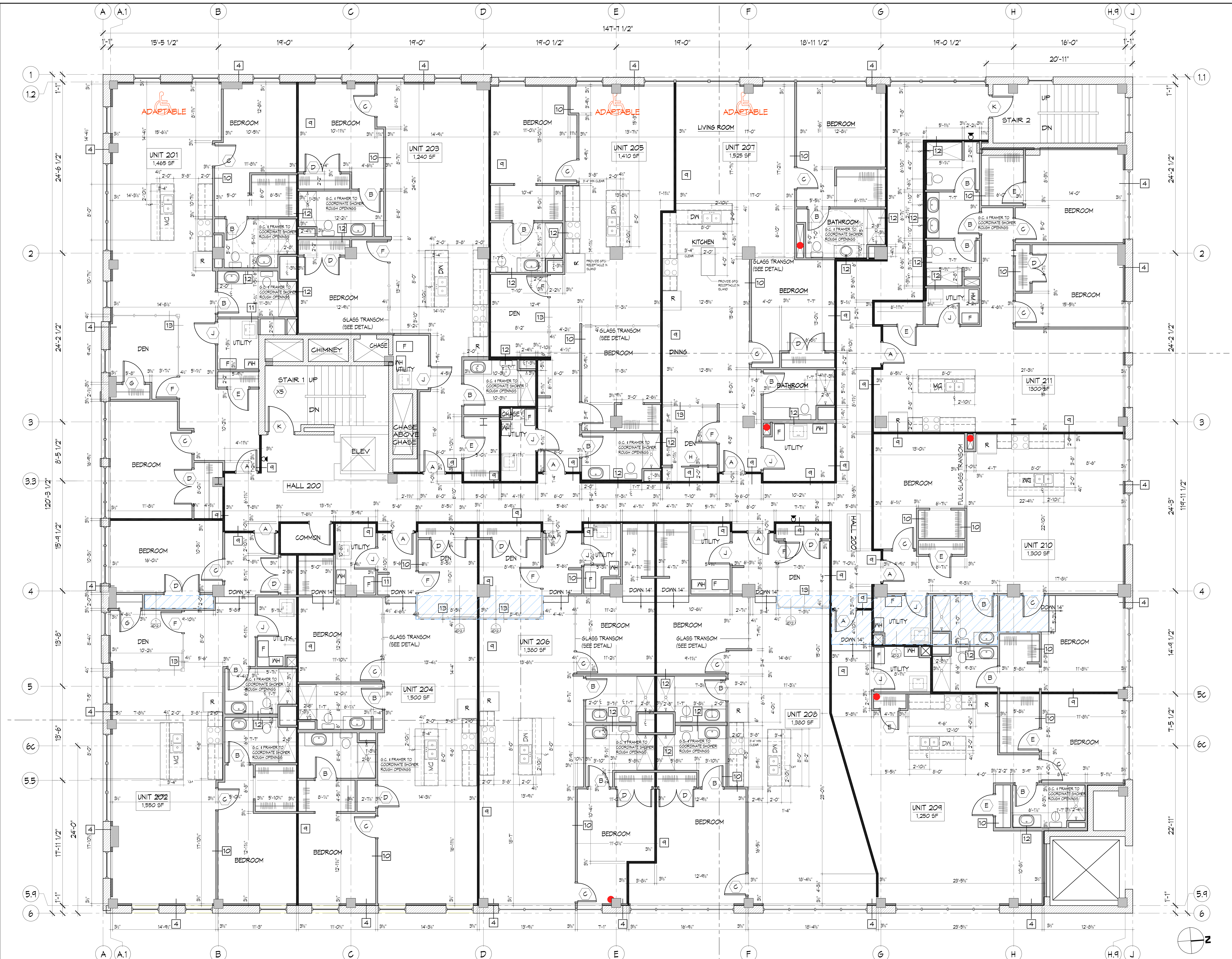
MackNIGHT
architects

DATE:
1/25/16

REVISED SECTION AT FLOOR INFILL

225 west jefferson street
syracuse, new york 13202

JD-2.2



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 SYRACUSE, NEW YORK

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NO.	DATE	BY
1	3.31.16	JFA

DATE 1/16/16
 SCALE 1/4"=1'-0"
 DRAWN
 PROJ.
 TITLE

ENLARGED
 2ND FLOOR
JD-2

